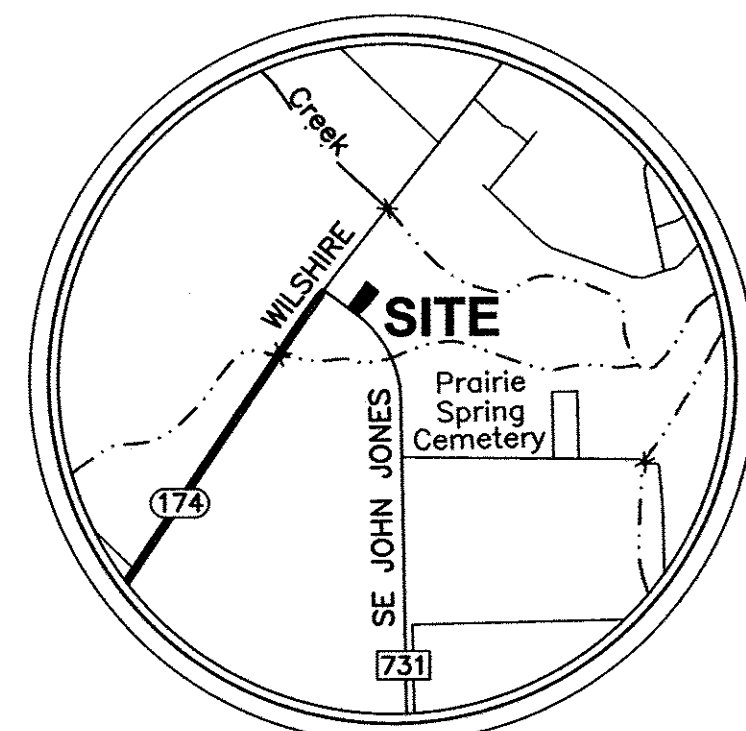


COOK CHILDREN'S MEDICAL OFFICE

North Bound Farm to Market Road 731, South of State Highway 174

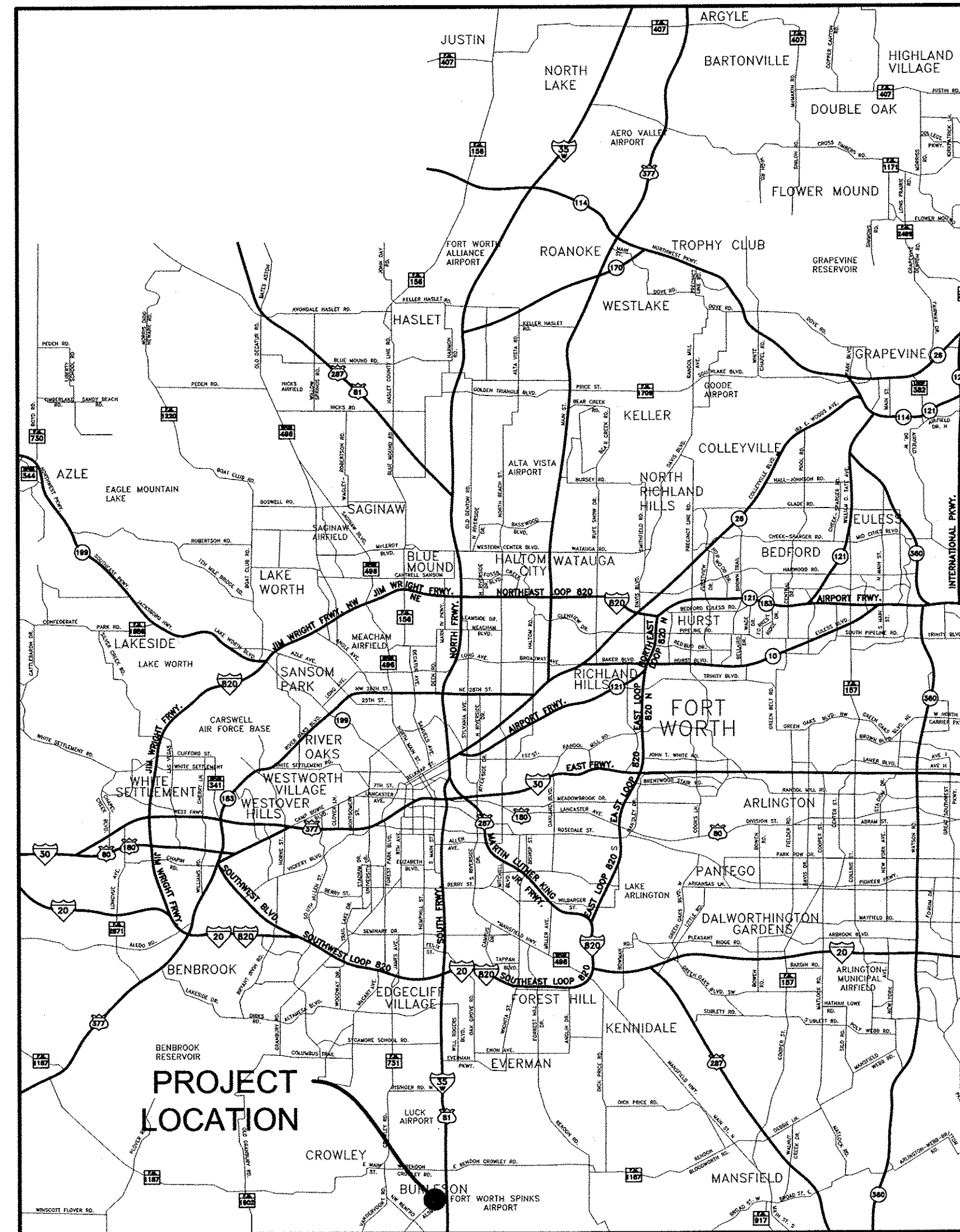
BURLESON, TEXAS SITE/CIVIL PLANS

CookChildren's.



VICINITY MAP
BURLESON, TEXAS
SCALE: 1"=2000'

DEVELOPED BY:
OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTHLAKE, TEXAS 76092
Phone: (817) 416-3981
Fax: (817) 416-8372
Contact: ANDREW MILLER



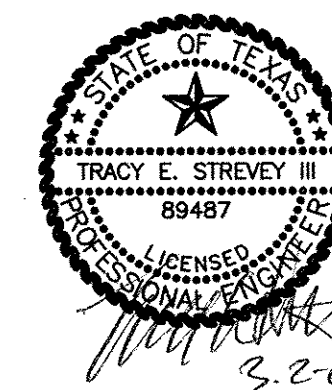
LOCATION MAP

JANUARY, 2009

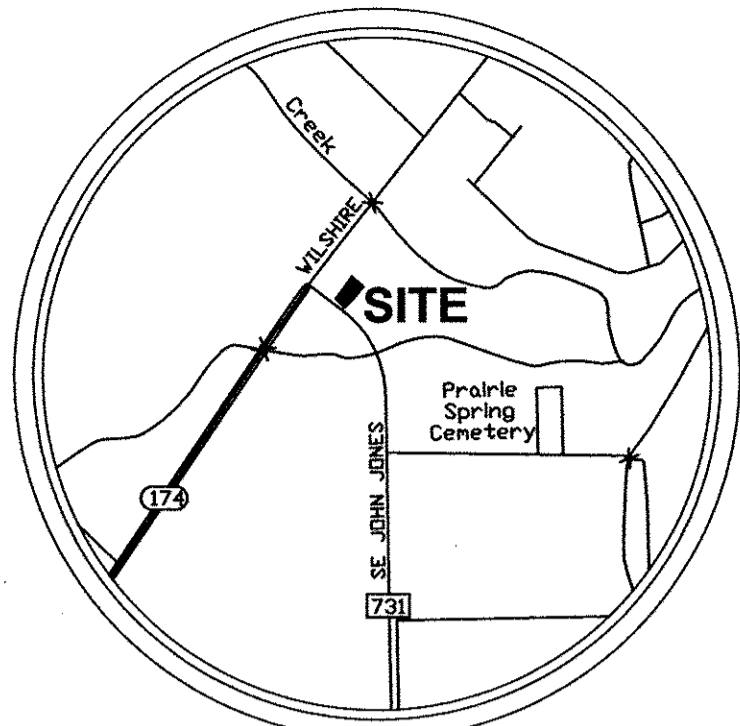
CONTENTS

- 1.0 FINAL PLAT
- 1.1 TOPOGRAPHIC SURVEY
- 2.0 DRAINAGE AREA MAP AND CALCULATIONS
- 3.0 SITE PLAN
- 3.1 FIRE PROTECTION PLAN
- 4.0 GRADING PLAN
- 4.1 EROSION CONTROL PLAN
- 4.2 EROSION CONTROL DETAILS
- 5.0 UTILITY PLAN
- 6.0 CONSTRUCTION DEATILS 1 OF 3
- 6.1 CONSTRUCTION DEATILS 2 OF 3
- 6.2 CONSTRUCTION DEATILS 3 OF 3
- 7.0 LANDSCAPE PLAN

BHB Baird, Hampton & Brown, Inc.
Engineering & Surveying
4550 SH 360, SUITE 180 GRAPEVINE, TX 76051 Tel:(817)338-1277 Fax:(817)338-9245 E-Mail:mail@bhinc.com



NOTE: THE CONTRACTR SHALL CONTACT THE CITY'S CHEIF INSPECTOR AT 817-917-8966 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION



VICINITY MAP
BURLESON, TEXAS
SCALE: 1"=2000'



30' 15' 0 30' 60'
DRAWING SCALE: 1"= 30'

POB - POINT OF BEGINNING	PP - POWER POLE
POB - POINT OF BEGINNING	GW - GUY WIRE
CM - CONTROLLING MONUMENT	LP - LIGHT POLE
[215.30] - PLAT OR DEED CALL	AC - AIR CONDITIONER
IRP - IRON ROD FOUND	CR - CABLE RISER
IRP - IRON PIPE FOUND	TR - TELEPHONE RISER
CIRF - CAPPED IRON ROD FOUND	TV - TV BOX
CIRS - CAPPED IRON ROD SET	WM - WATER METER
X CUT - X CUT IN CONCRETE	WV - WATER VALVE
TXDOT - TX DEPT TRANS MON.	WW - WATER WELL
FCP - FENCE CORNER POST	FH - FIRE HYDRANT
R.O.W. - RIGHT OF WAY	KV - IRIG. CNTRL. VALVE
BM - BENCHMARK	MND - MANHOLE (SEE NOTE)
B.L. - BUILDING LINE	CO - CLEAN OUT
ESMT - EASEMENT	GT - GAS TRAP
U.E. - UTILITY EASEMENT	GM - GAS METER
D.E. - DRAINAGE EASEMENT	GV - GAS VALVE
D.U.E. - DRAINAGE & UTILITY ESMT	PT - PROPANE TANK
A.E. - ACCESS EASEMENT	CMP - CORRUGATED METAL PIPE
FF - FINISHED FLOOR	RFP - REINFORCED CONC. PIPE
CLM - COLUMN	MW - MONITOR WELL
MB - MAIL BOX	TSP - TRAFFIC SIGNAL BOX
PM - PARKING METER	TSL - TRAFFIC SIGNAL LIGHT
FP - FLAG POLE	SN - SIGNAGE (SEE NOTE)
BOL - BOLLARD	OHE - OVERHEAD ELECTRIC
GR - GUARD RAIL	SS - SANITARY SEWER
CL - CENTERLINE	WL - WATER LINE
FL - FLOWLINE	GP - GAS PIPELINE (SEE NOTE)
TRM - ELEC. TRANSFORMER	WF - WIRE FENCE
EM - ELECTRIC METER	WO - WOOD FENCE
EB - ELECTRIC BOX	MO - METAL FENCE

Surveyor's Notes:

- Basis of Bearing this survey is the East line of Four Corners, Phase One, as shown by plat recorded in Volume 9, Page 278, Plat Records, Johnson County, Texas.
- All 'CIRS' are a 5/8-inch capped iron rod with plastic cap marked "BHB INC" unless otherwise noted.
- The City of Burleson reserves the right to require minimum finish floor elevation on any lot within this subdivision. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change.
- Flood Statement: I have examined the F.E.M.A. Flood Insurance Rate Map for the City of Burleson, Johnson County, Texas, Community Number 485450, effective date January 6, 1999 and that map indicates that this property is in Non-Shaded Zone X, which is defined as "areas determined to be outside the 500-year floodplain" as shown on Panel 0037 H of said map.
- Elevations shown were obtained via GPS and are reported in the North American Vertical Datum (NAVD) of 1988 us feet.

TBM#1
X cut set in the center of a 20 foot by 4 foot inlet, located on the East side of the Northbound lanes of FM 731 and located approximately 600 feet southeast of the intersection of FM 731 & FM 174.
Elevation=738.73

TBM#2
X cut set on the West edge of a sidewalk on the East side of FM 731 and located approximately 250 feet Southeast of the intersection of FM 731 and FM 174.
Elevation=743.58.

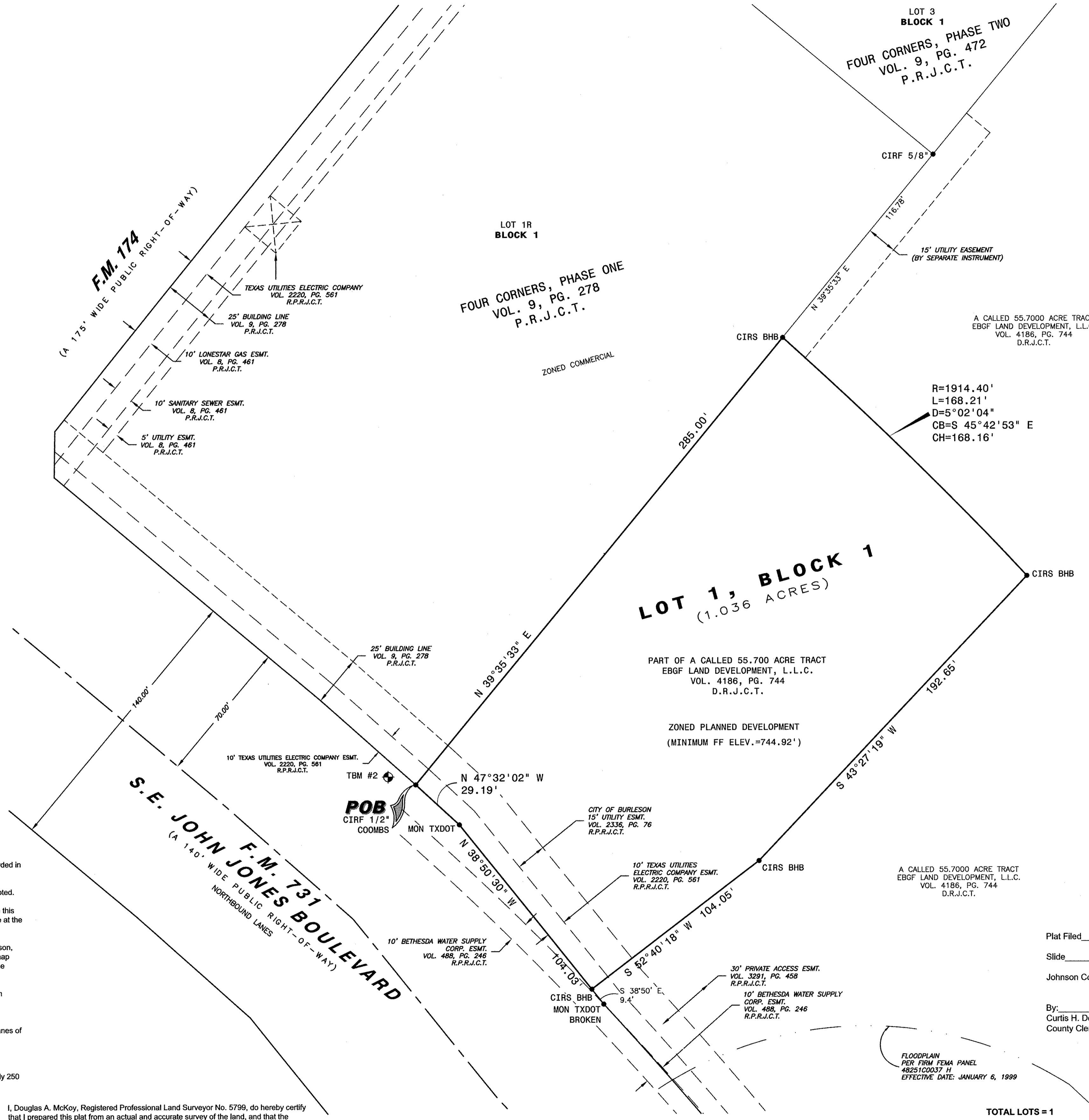
I, Douglas A. McKoy, Registered Professional Land Surveyor No. 5799, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my supervision.

Douglas A. McKoy, R.P.L.S. No. 5799 Date _____

BHB Baird, Hampton & Brown, Inc.

4550 S.H. 360, Suite 180, Grapevine, Texas 76051
Tel: 817.251.8550 Fax: 817.251.8810 Email: mail@bhbinc.com

Feb 27, 2009 - 3:20pm
DRAWING FILE: E:\2008.000.000\2008.715.001\Dwg\FP34.dwg



LEGAL DESCRIPTION
1.036 ACRE IN THE
B.B.B. & C.R.R. Survey, A-98
JOHNSON COUNTY, TEXAS

WHEREAS EBGF Land Development, LLC, is the owner of a 1.036 acre tract of land in the B.B.B. & C.R.R. Survey, A-98, Johnson County, Texas, and being a part of a called 55,700 acre tract of land described in a deed to EBGF Land Development, L.L.C., recorded in Volume 4186, Page 744, Deed Records, Johnson County, Texas, said 1.036 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch capped iron rod (stamped 'COOMBS') found in the Northeast right-of-way line of Farm-to-Market Road Number 731 (a variable width public right-of-way) for the most Southerly corner of Lot 1R, Block 1, Four Corners, Phase I, an addition to the City of Burleson, Johnson County, Texas, according to the plat thereof recorded in Volume 9, Page 278, Plat Records, Johnson County, Texas;

THENCE North 39°35'33" East, with the Southeast line of said Lot 1R, a distance of 285.00 feet to a 5/8-inch iron rod (stamped 'BHB INC') set for the most Northerly corner the herein described, from which a 5/8-inch iron rod found for the most Easterly corner of said Lot 1R bears North 39°35'33" East, a distance of 116.78 feet;

THENCE along the arc of a non-tangent curve to the right a distance of 168.21 feet, having a radius of 1914.40 feet, a central angle of 05°02'04", and a long chord which bears South 45°42'53" East, a distance of 168.16 feet, to a 5/8-inch iron rod (stamped 'BHB INC') set for the Northeast corner of the herein described tract;

THENCE South 43°27'19" West, a distance of 192.65 feet to a 5/8-inch iron rod (stamped 'BHB INC') set for corner;

THENCE South 52°40'18" West, a distance of 104.05 feet to a 5/8-inch iron rod (stamped 'BHB INC') set in said Northeast right-of-way line for the most Southerly corner of the herein described tract, from which the remains of a TXDOT monument bears South 38°50' East, a distance of 9.4' feet;

THENCE North 38°50'30" West, with said right-of-way, a distance of 104.03 feet to a TXDOT monument found for corner;

THENCE North 47°31'30" West, continuing with said right-of-way, a distance of 29.19 feet to the **POINT OF BEGINNING** and containing 1.036 acres (45,111 square feet) more or less.

OWNER'S CERTIFICATE
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, _____, does hereby adopt this plat designating the herein before described property as Reed Parke Addition, Lot 1, Block 1, an addition to the City of Burleson, Johnson County, Texas, and does hereby dedicate to the public use forever all streets, rights-of-way, alleys and easements shown thereon. The City or any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and the City or any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Burleson, Texas.

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned Notary Public in and for said County and State on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated. Given under my hand and seal of office this _____ day of _____, 2009.

Notary Public in and for Wise County _____

My commission expires: _____

My printed name _____

CITY COUNCIL APPROVAL

Approved by the City Council of Burleson, Texas
This the _____ day of _____, 2009.

Mayor, City of Burleson _____

Attest: City Secretary _____

Plat Filed _____, 20__.

Slide _____, Vol. _____, Pg. _____.

Johnson County Plat Records

By: _____
Curtis H. Douglas
County Clerk

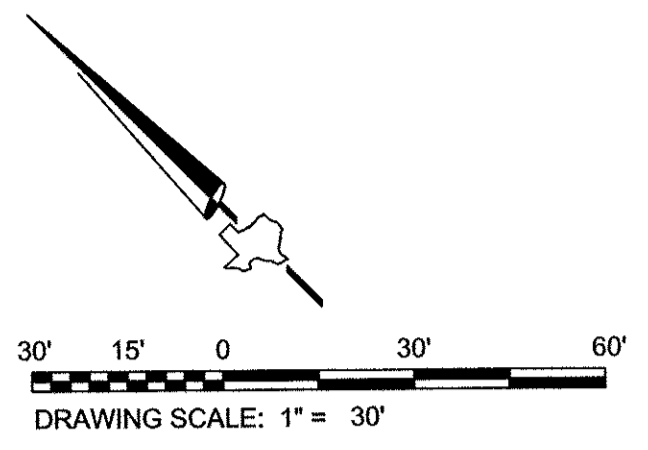
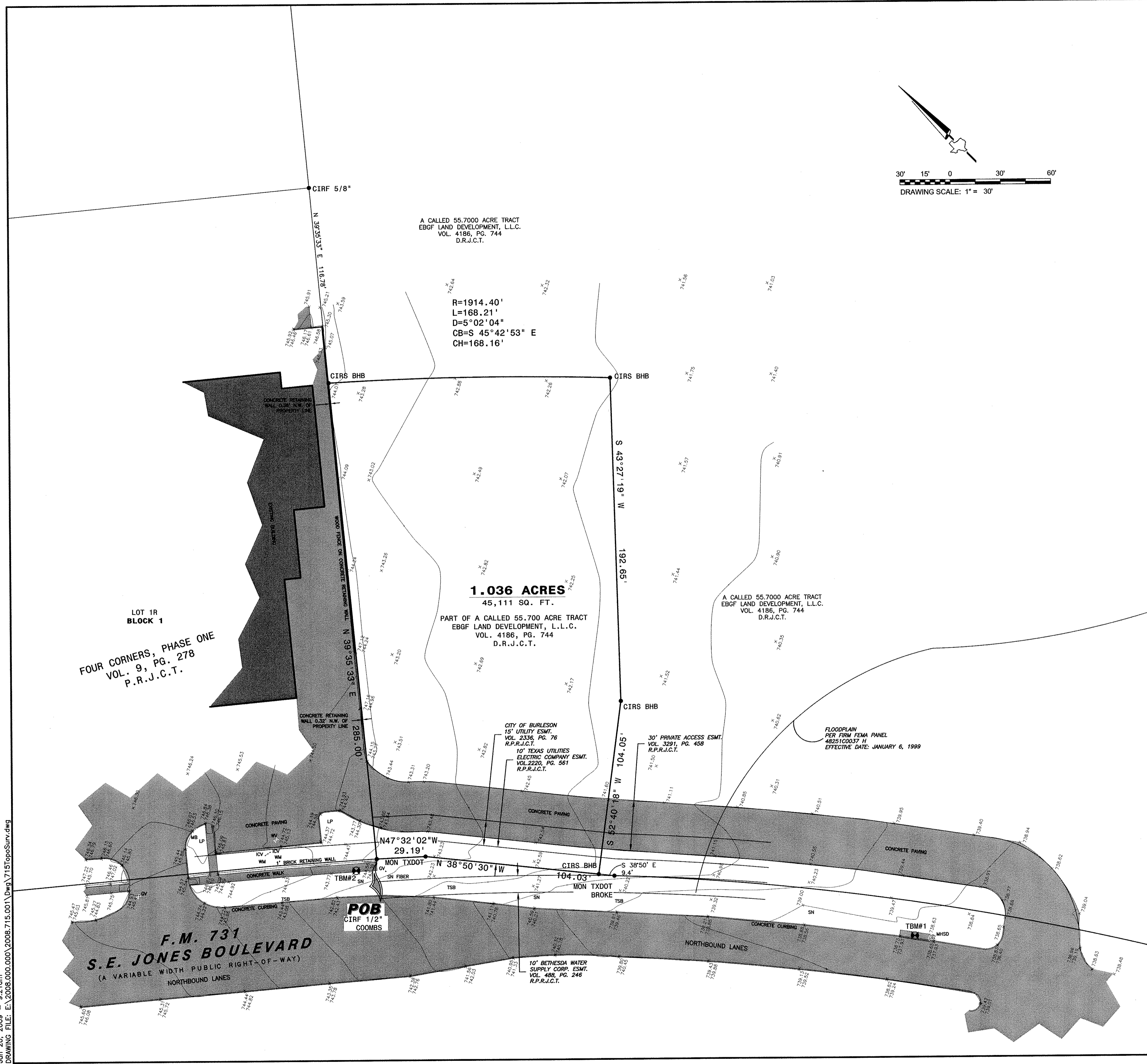
FINAL PLAT
REED PARKE ADDITION
LOT 1, BLOCK 1
BEING 1.036 ACRES
IN THE B.B.B. & C.R.R. SURVEY A-98
JOHNSON COUNTY
CITY OF BURLESON, TEXAS
JANUARY, 2009

TOTAL LOTS = 1

Owner:
EBGF Land Development, LLC
P.O. Box 2305
Burleson, Texas 76097

Engineer & Surveyor:
Baird, Hampton and Brown Inc.
4550 S.H. 360, Suite 180
Grapevine, Texas 76051
(817) 251-8550

Jan 20, 2009 - 9:21 am
DRAWING FILE: E:\2008\000.000\2008.715.001\DWG\715TopoSurv.dwg



LEGAL DESCRIPTION
1.036 ACRE IN THE
B.B.B. & C.R.R. Survey, A-98
JOHNSON COUNTY, TEXAS

BEING a 1.036 acre tract of land in the B.B.B. & C. R.R. Survey, A-98, Johnson County, Texas, and being a part of a called 55,700 acre tract of land described in a deed to EBGF Land Development, L.L.C., recorded in Volume 4186, Page 744, Deed Records, Johnson County, Texas, said 1.036 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch capped iron rod (stamped 'COOMBS') found in the Northeast right-of-way line of Farm-to-Market Road Number 731 (a variable width public right-of-way) for the most Southerly corner of Lot 1R, Block 1, Four Corners, Phase I, an addition to the City of Burleson, Johnson County, Texas, according to the plat thereof recorded in Volume 9, Page 278, Plat Records, Johnson County, Texas;

THENCE North 39°35'33" East, with the Southeast line of said Lot 1R, a distance of 285.00 feet to a 5/8-inch iron rod (stamped 'BHB INC') set for the most Northerly corner of the herein described tract, from which a 5/8-inch iron rod found for the most Easterly corner of said Lot 1R bears North 39°35'33" East, a distance of 116.78 feet;

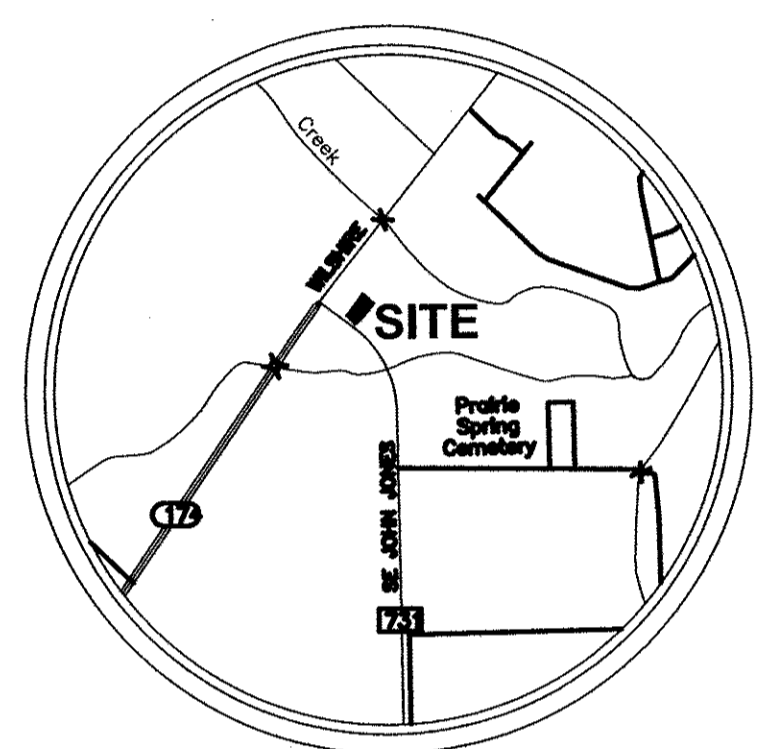
THENCE along the arc of a non-tangent curve to the right a distance of 168.21 feet, having a radius of 1914.40 feet, a central angle of 05°02'04", and a long chord which bears South 45°42'53" East, a distance of 168.16 feet, to a 5/8-inch iron rod (stamped 'BHB INC') set for the Northeast corner of the herein described tract;

THENCE South 43°27'19" West, a distance of 192.65 feet to a 5/8-inch iron rod (stamped 'BHB INC') set for corner;

THENCE South 52°40'18" West, a distance of 104.05 feet to a 5/8-inch iron rod (stamped 'BHB INC') set in said Northeast right-of-way line for the most Southerly corner of the herein described tract, from which the remains of a TXDOT monument bears South 38°50' East, a distance of 9.4' feet;

THENCE North 38°50'30" West, with said right-of-way, a distance of 104.03 feet to a TXDOT monument found for corner;

THENCE North 47°31'30" West, continuing with said right-of-way, a distance of 29.19 feet to the **POINT OF BEGINNING** and containing 1.036 acres (45,111 square feet) more or less.



POB - POINT OF COMMENCEMENT	PP - POWER POLE
POB - POINT OF BEGINNING	GP - GUY WIRE
CM - CONTROLLING MONUMENT	LP - LIGHT POLE
[215.30] - PLAT OR DEED CALL	AC - AIR CONDITIONER
IRP - IRON ROD FOUND	CR - CABLE RISER
IRP - IRON PIPE FOUND	TR - TELEPHONE RISER
CIRP - CAPPED IRON ROD FOUND	WM - WATER METER
CIRP - CAPPED IRON ROD SET	TV - TV BOX
X CUT - X CUT IN CONCRETE	WW - WATER VALVE
TXDOT - TX DEPT TRANS MON.	WW - WATER WELL
FOP - FENCE CORNER POST	FW - FIRE HYDRANT
R.O.W. - RIGHT OF WAY	ICV - IRRIG CONTROL VALVE
BM - BENCHMARK	MH(X) - MANHOLE (SEE NOTE)
BL - BUILDING LINE	CO - CEMENT OUT
ESMT - EASEMENT	GT - GREASE TRAP
U.E. - UTILITY EASEMENT	GM - GAS METER
D.E. - DRAINAGE EASEMENT	CV - GAS VALVE
D.U.E. - DRAINAGE & UTILITY ESMT	PT - PROPANE TANK
A.E. - ACCESS EASEMENT	CMP - CORRUGATED METAL PIPE
FF - FINISHED FLOOR	RCP - REINFORCED CONC. PIPE
CM - COLUMN	WW - WOOD FENCE
MB - MAIL BOX	TSB - TRAFFIC SIGNAL BOX
PM - PARKING METER	TSL - TRAFFIC SIGNAL LIGHT
FP - FLAG POLE	SN - SIGNAGE (SEE NOTE)
BOL - BOLLARD	OH - OVERHEAD ELECTRIC
SR - SUIRD RAIL	SS - SANITARY RISER
CL - CENTERLINE	WL - WATER LINE
FL - FLOORLINE	GS - GAS PIPELINE (SEE NOTE)
TRAN - ELEC. TRANSFORMER	X-X - WIRE FENCE
EM - ELECTRIC METER	EM - WOOD FENCE
EB - ELECTRIC BOX	MO - METAL FENCE

Surveyor's Notes:

- Basis of Bearing this survey is the East line of Four Corners, Phase One, as shown by plat recorded in Volume 9, Page 278, Plat Records, Johnson County, Texas.
- All 'CIRS' are a 5/8-inch capped iron rod with plastic cap marked "BHB INC" unless otherwise noted.
- Elevations shown this survey were obtained using the WDS Texas Cooperative VRS Network to generate ellipsoidal heights and then, using a subset of Geoid03, orthometric heights (elevations) were computed and are referenced to the the North American Vertical Datum (NAVD) of 1988.
 - TBM#1
X cut set in the center of a 20 foot by 4 foot inlet, located on the East side of the Northbound lanes of FM 731 and located approximately 600 feet southeast of the intersection of FM 731 & FM 174. Elevation=738.73
 - TBM#2
X cut set on the West edge of a sidewalk on the East side of FM 731 and located approximately 250 feet Southeast of the intersection of FM 731 and FM 174. Elevation=743.58.
- Underground utility locations are a combination of visible evidence observed by the surveyor during field visits, utility maps obtained from the City, and underground utility locator (DIGTRESS) markers in place during time of survey. BHB provides no warranty as to location or the extent of underground utilities for this site.
- Flood Statement: I have examined the F.E.M.A. Flood Insurance Rate Map for the City of Burleson, Johnson County, Texas, Community Number 485459, effective date January 6, 1999 and that map indicates that this property is in Non-Shaded Zone X, which is defined as "areas determined to be outside the 500-year floodplain" as shown on Panel 0037 H of said map.

OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTH LAKE, TEXAS 76092
(ATTN: ANDREW MILLER)

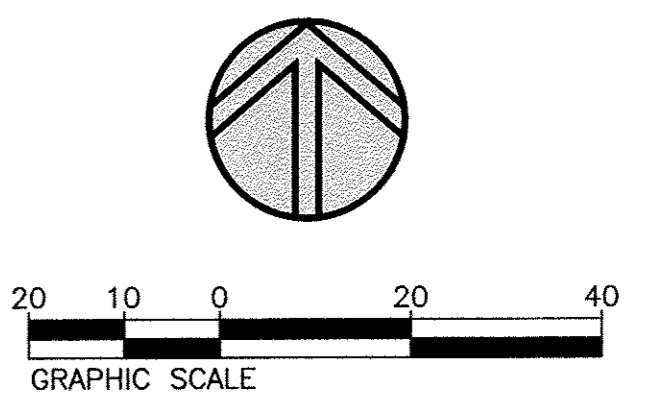
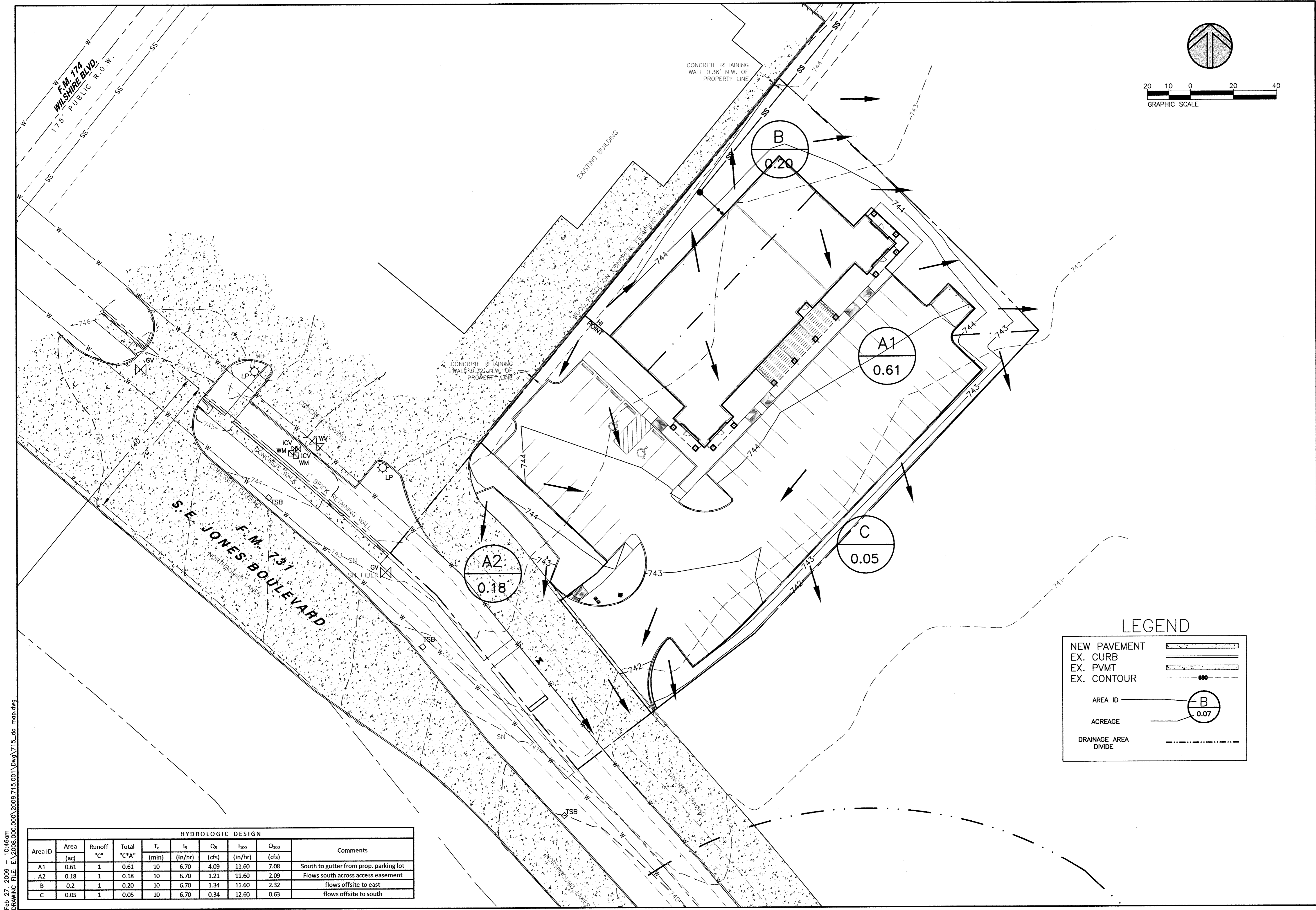
Boird, Hampton & Brown, Inc.
Engineering & Surveying
450 SH 360, SUITE 180 GREEPENT, TX 76061 TEL: (817) 338-1277 FAX: (817) 338-3245 E-Mail: info@bhb.com

NO.	REVISIONS	DATE
DESIGNED:	DRAWN:	CHECKED:
TS	Mck	KB
		DATE:
		01-20-09

TOPOGRAPHIC SURVEY
1.306 ACRES IN THE
B.B.B. & C.R.R. SURVEY A-98
City of Burleson
Johnson County, Texas

BHB PROJECT NO:
2008.715.001

SHEET NO:
1.1



LEGEND

NEW PAVEMENT	
EX. CURB	
EX. PVMT	
EX. CONTOUR	
AREA ID	
ACREAGE	
DRAINAGE AREA DIVIDE	

HYDROLOGIC DESIGN									
Area ID	Area (ac)	Runoff "C"	Total "C*A"	T _c		Q _s (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Comments
				(min)	(in/hr)				
A1	0.61	1	0.61	10	6.70	4.09	11.60	7.08	South to gutter from prop. parking lot
A2	0.18	1	0.18	10	6.70	1.21	11.60	2.09	Flows south across access easement
B	0.2	1	0.20	10	6.70	1.34	11.60	2.32	flows offsite to east
C	0.05	1	0.05	10	6.70	0.34	12.60	0.63	flows offsite to south

Feb 27, 2009 - 10:46am
DRAWING FILE: E:\2008\000\000\2008.715.001\DWG\715.dwg map.dwg

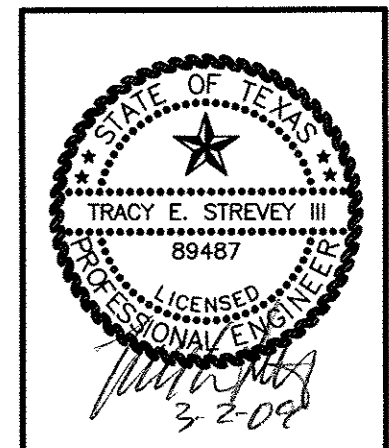
OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTH LAKE, TEXAS 76092
(ATTN: ANDREW MILLER)

Baird, Hampton & Brown, Inc.
Engineering & Surveying
4550 SH 360, SUITE 180 GRAPENHART, TX 76047 Tel: (817) 338-1277 Fax: (817) 338-9245 E: mhb@bhbinc.com

NO.	REVISIONS	DRAWN:	CHECKED:	DATE:
TS	McK	KB		02-27-09

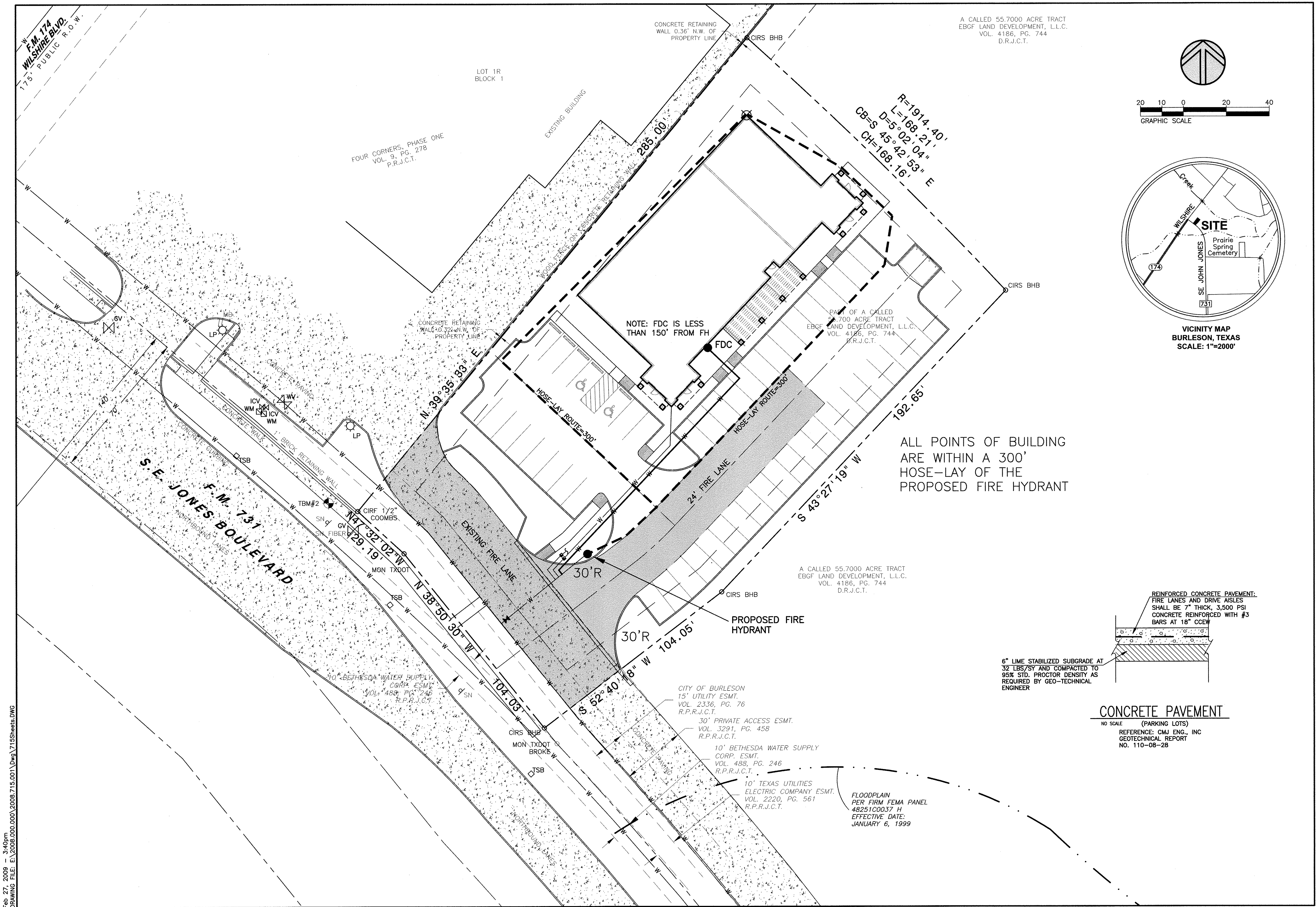
DRAINAGE AREA MAP AND CALCULATIONS

CookChildren's
MEDICAL OFFICE
City of Burleson, Johnson County, Texas

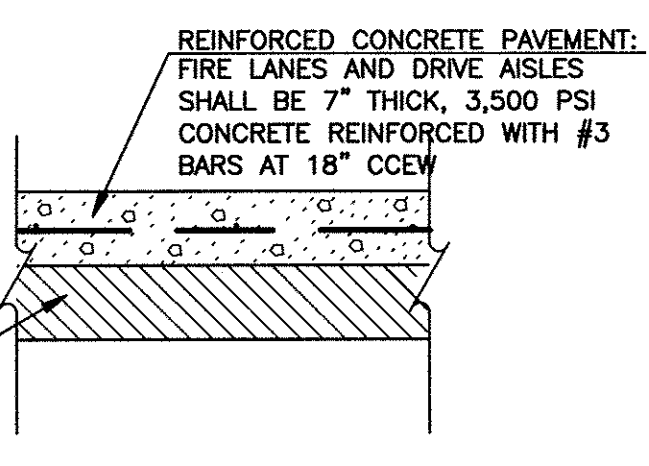
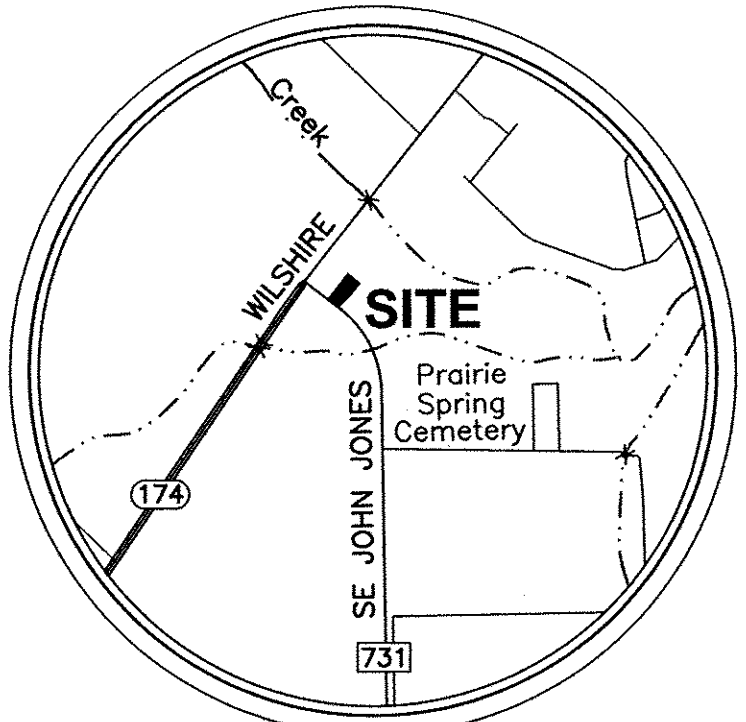
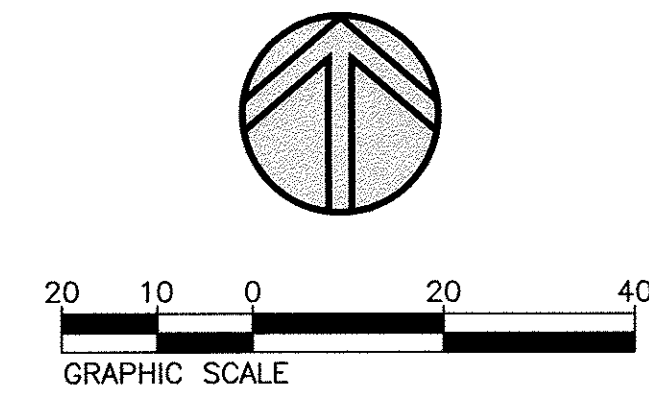


BHB PROJECT NO:
2008.715.001

SHEET NO:
2.0



ALL POINTS OF BUILDING ARE WITHIN A 300' HOSE-LAY OF THE PROPOSED FIRE HYDRANT



CONCRETE PAVEMENT
 NO SCALE (PARKING LOTS)
 REFERENCE: CMJ ENG., INC
 GEOTECHNICAL REPORT
 NO. 110-08-28

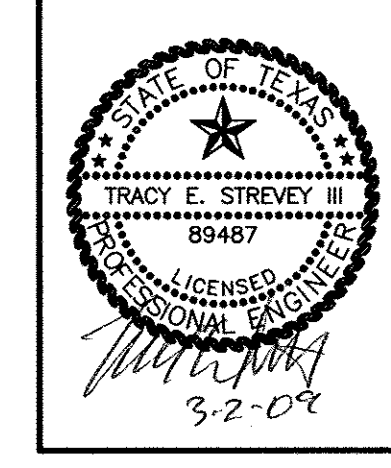
OFFICE EQUITY SOLUTIONS
 365 MIRON STREET, SUITE A
 SOUTHLAKE, TEXAS 76092
 (ATTN: ANDREW MILLER)

EBB Baird, Hampton & Brown, Inc.
Engineering & Surveying
 450 S. 360, SUITE 180, GARLAND, TX 76041 TEL: (972) 338-1277 FAX: (972) 338-9245 E-Mail: ebbs@ebbs.com

NO.	DESIGNED:	DRAWN:	CHECKED:	REVISIONS	DATE
TS		McK	KB		02-27-09

FIRE PROTECTION PLAN

CookChildren's
 MEDICAL OFFICE
 City of Burleson, Johnson County, Texas

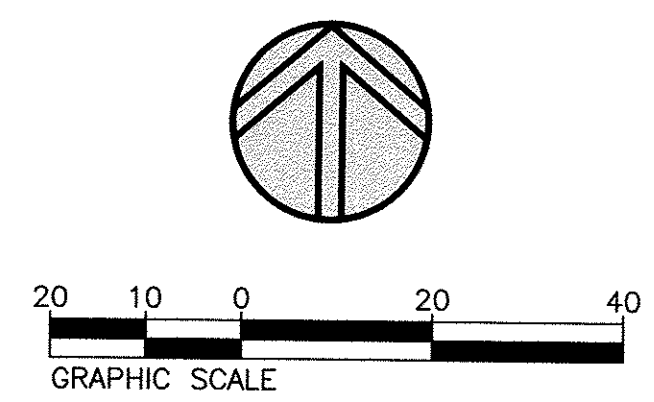
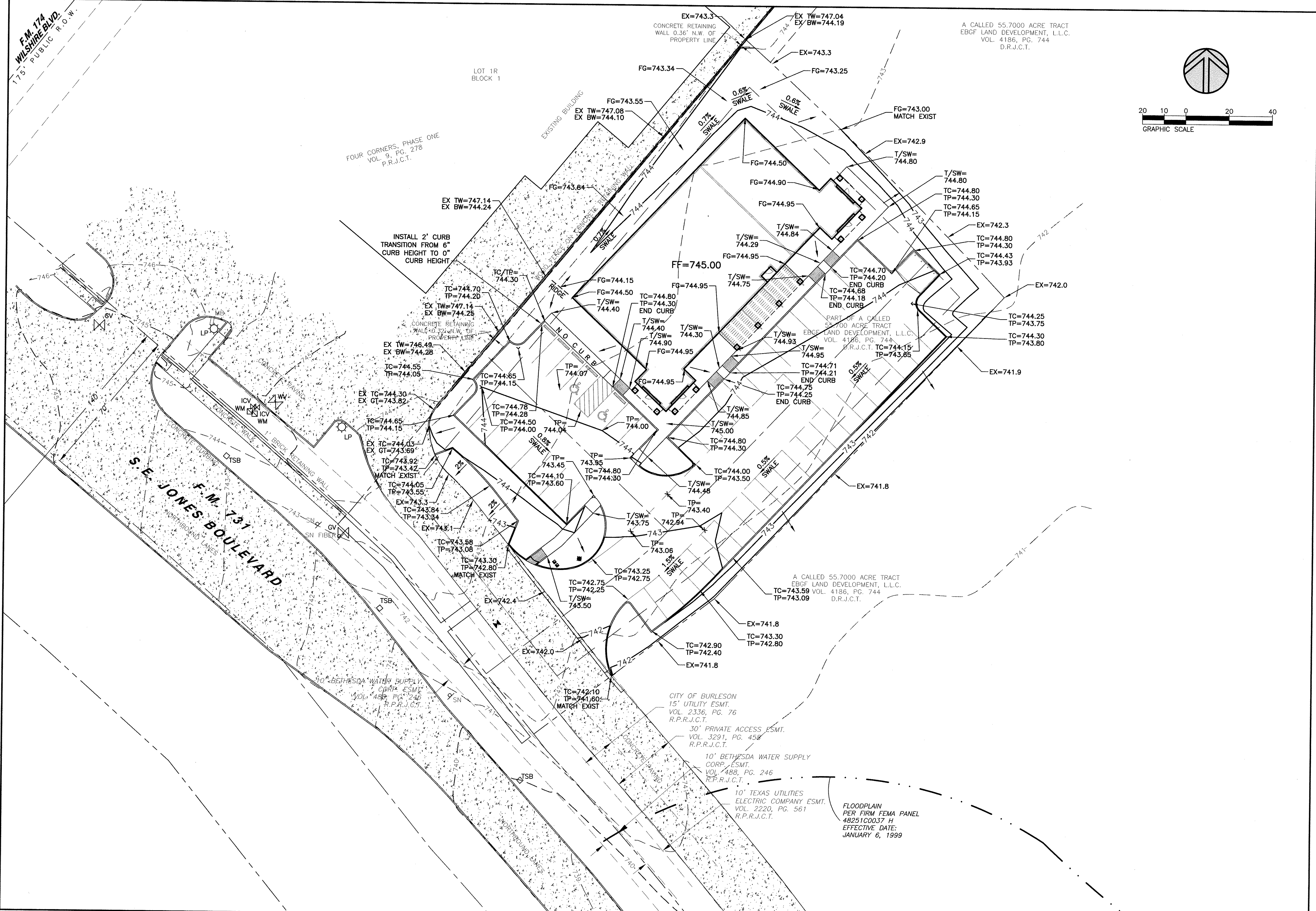


BHB PROJECT NO:
2008.715.001

SHEET NO:
3.1

Feb 27, 2009 - 3:40pm
 DRAWING FILE: E:\2008.000.001\2008.715.001\Draw\715Sheets.dwg

Feb 27, 2009 - 10:49am
 DRAWING FILE: E:\2008\000\000\2008.715.001\DWG\715Sheets.DWG



OFFICE EQUITY SOLUTIONS
 365 MIRON STREET, SUITE A
 SOUTHLAKE, TEXAS 76092
 (ATTN: ANDREW MILLER)

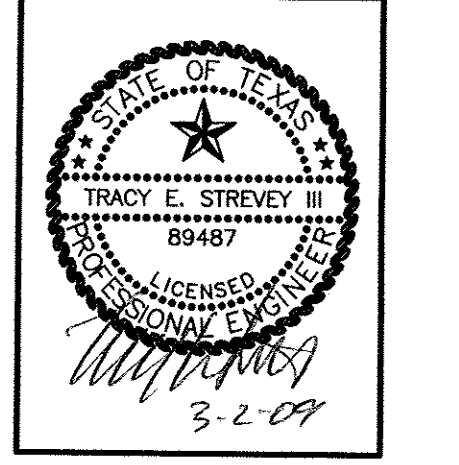
Baird, Hampton & Brown, Inc.
 Engineering & Surveying
 4850 SH 360, SUITE 180 GARLAND, TX 75041 Tel:(972)338-1277 Fax:(972)338-9245 E-Mail:bhb@bhbinc.com

NO.	DESIGNED:	DRAWN:	CHECKED:	DATE:
	TS	McK	KB	02-27-09

GRADING PLAN

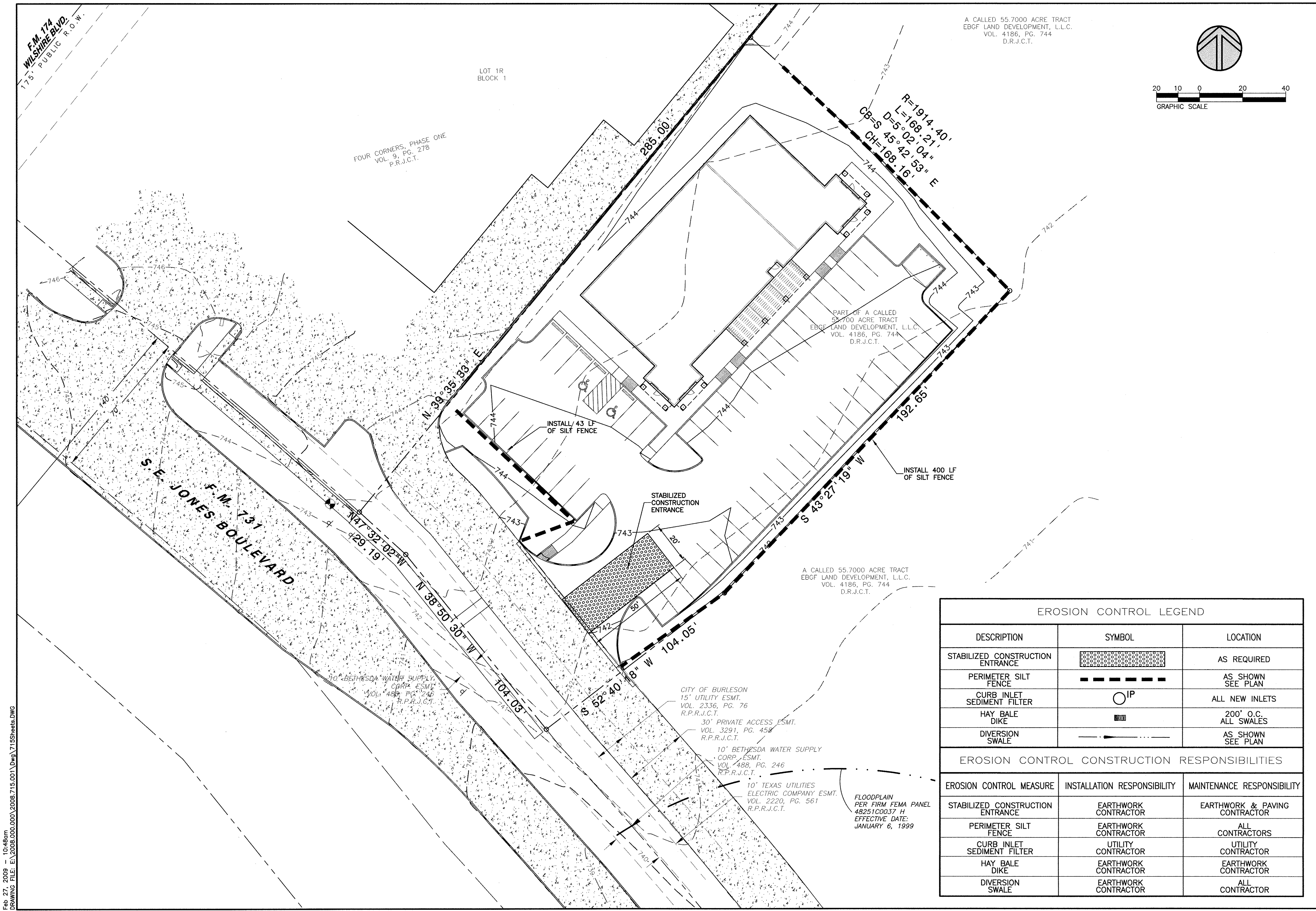
CookChildren's
 MEDICAL OFFICE

City of Burleson, Johnson County, Texas

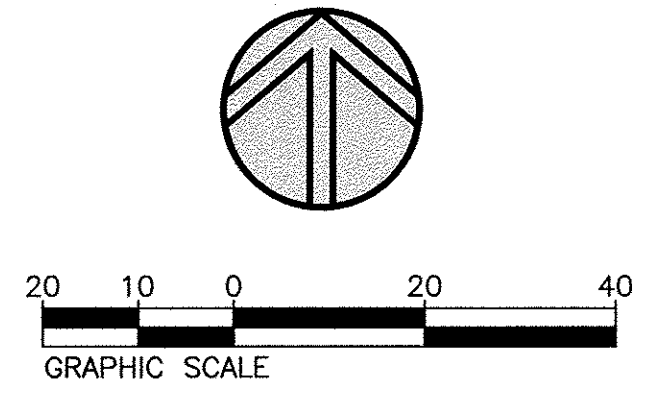


BHB PROJECT NO:
2008.715.001

SHEET NO:
4.0



A CALLED 55.7000 ACRE TRACT
EBGF LAND DEVELOPMENT, L.L.C.
VOL. 4186, PG. 744
D.R.J.C.T.



R=1914.40'
L=168.21'
D=5°02'04"
CB=S 45°42'53" E
CH=168.16'

PART OF A CALLED
55.7000 ACRE TRACT
EBGF LAND DEVELOPMENT, L.L.C.
VOL. 4186, PG. 744
D.R.J.C.T.

A CALLED 55.7000 ACRE TRACT
EBGF LAND DEVELOPMENT, L.L.C.
VOL. 4186, PG. 744
D.R.J.C.T.

EROSION CONTROL LEGEND		
DESCRIPTION	SYMBOL	LOCATION
STABILIZED CONSTRUCTION ENTRANCE		AS REQUIRED
PERIMETER SILT FENCE		AS SHOWN SEE PLAN
CURB INLET SEDIMENT FILTER		ALL NEW INLETS
HAY BALE DIKE		200' O.C. ALL SWALES
DIVERSION SWALE		AS SHOWN SEE PLAN

EROSION CONTROL CONSTRUCTION RESPONSIBILITIES		
EROSION CONTROL MEASURE	INSTALLATION RESPONSIBILITY	MAINTENANCE RESPONSIBILITY
STABILIZED CONSTRUCTION ENTRANCE	EARTHWORK CONTRACTOR	EARTHWORK & PAVING CONTRACTOR
PERIMETER SILT FENCE	EARTHWORK CONTRACTOR	ALL CONTRACTORS
CURB INLET SEDIMENT FILTER	UTILITY CONTRACTOR	UTILITY CONTRACTOR
HAY BALE DIKE	EARTHWORK CONTRACTOR	EARTHWORK CONTRACTOR
DIVERSION SWALE	EARTHWORK CONTRACTOR	ALL CONTRACTOR

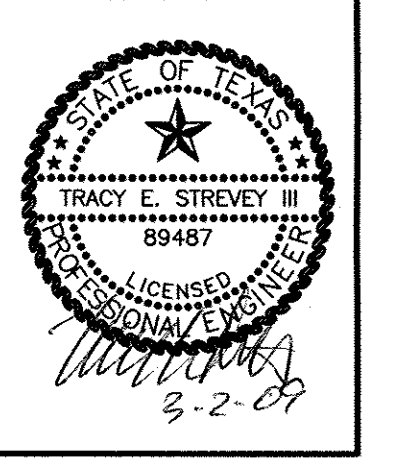
OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTHLAKE, TEXAS 76092
(ATTN: ANDREW MILLEY)

Baird, Hampton & Brown, Inc.
Engineering & Surveying
4550 SH 300, SUITE 180, GRAPEVINE, TX 76051 Tel: (972) 338-1277 Fax: (972) 338-9245 E-Mail: info@bhbb.com

NO.	DESIGNED:	DRAWN:	CHECKED:	REVISIONS		DATE
				TS	McK	

EROSION CONTROL PLAN

CookChildren's
MEDICAL OFFICE
City of Burleson, Johnson County, Texas



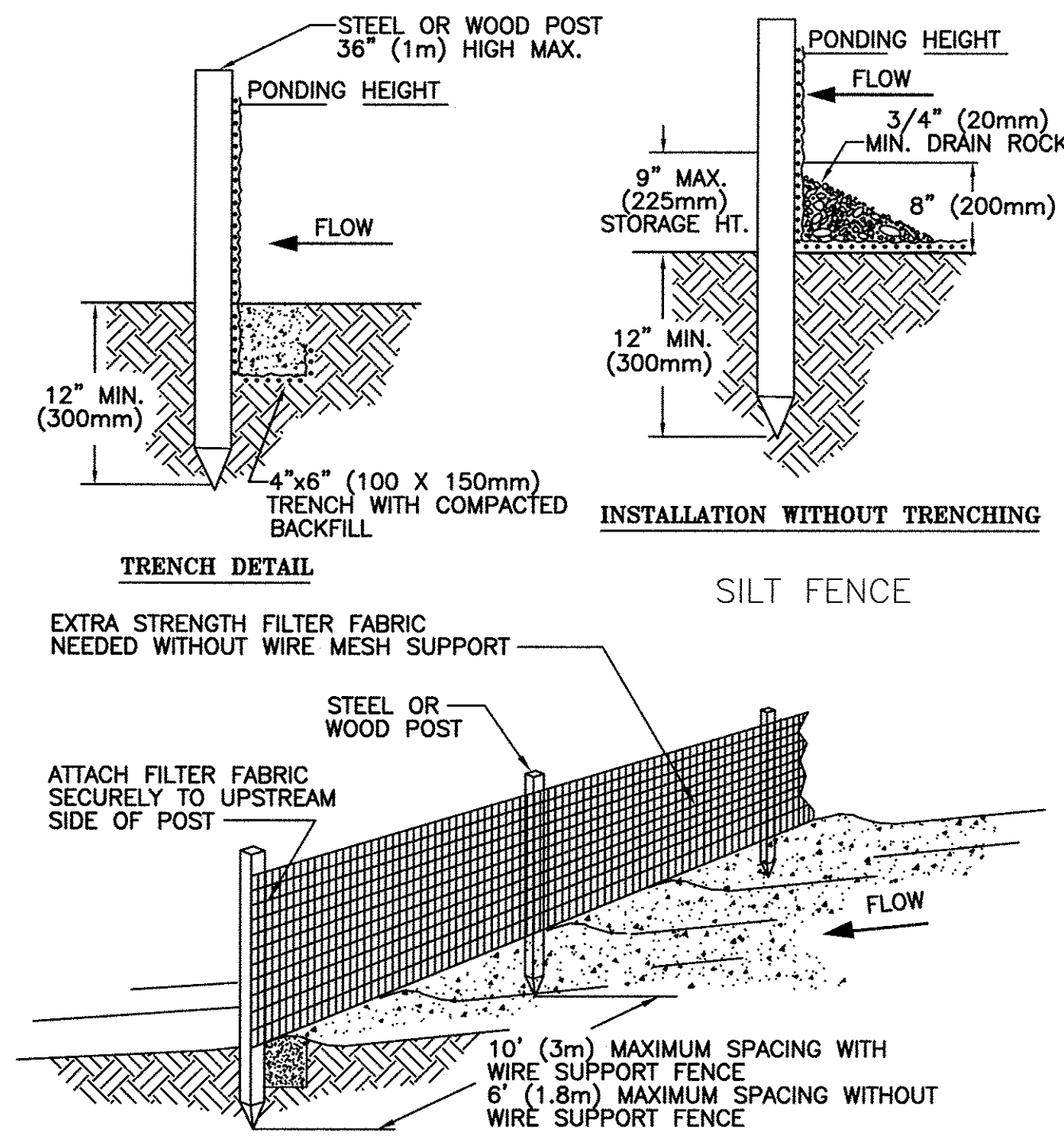
BHB PROJECT NO:
2008.715.001

SHEET NO:
4.1

SW3P NOTES:

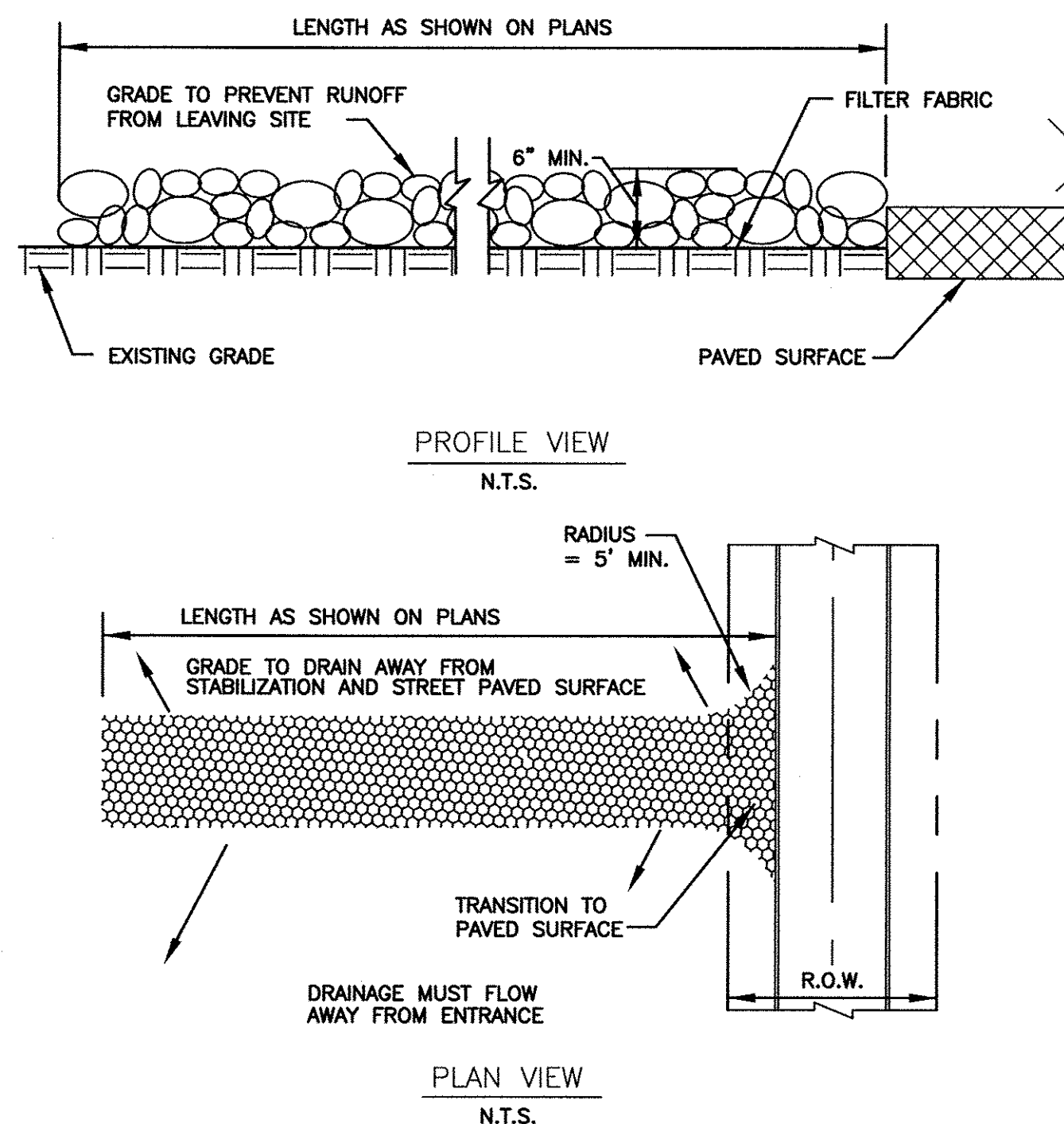
1. A STORM WATER POLLUTION PREVENTION PLAN (SW3P) INCLUDING NOTICE OF INTENT (NOI) WILL BE PREPARED BY THE OWNER'S REPRESENTATIVE FOR THIS PROJECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE T.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION.
2. ALL CONTRACTORS WILL COMPLY WITH THE REQUIREMENTS AND INTENT OF THE T.P.D.E.S. GENERAL PERMIT FOR STORM WATER DISCHARGES AND WITH THE NCTCOG MANUAL "BEST MANAGEMENT PRACTICES FOR CONSTRUCTION".
3. THE OWNER SHALL SUBMIT A NOTICE OF INTENT (NOI) FOR STORM WATER DISCHARGE PERMIT COVERAGE. THIS SUBMITTAL SHALL BE COORDINATED WITH THE CONTRACTOR AND SHALL OCCUR NO LESS THAN 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. EACH CONTRACTOR SHALL OBTAIN AND SUBMIT TO THE OWNER A POLLUTION PREVENTION CERTIFICATION FROM EACH SUBCONTRACTOR WHOSE WORK IMPACTS THE SW3P PRIOR TO THE PERFORMANCE OF ANY WORK BY SAID SUBCONTRACTOR. THESE CERTIFICATIONS SHALL BECOME A PART OF THE SW3P.
5. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES, AS INDICATED ON THE PLANS AND AS FIELD CONDITIONS WARRANT. PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY, REPAIRS OR MODIFICATIONS TO THE MEASURES WILL BE MADE BY THE CONTRACTOR IF THE CONTROL MEASURES PROVE INEFFECTIVE OR IF ADDITIONAL CONTROL MEASURES ARE NECESSARY.
6. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AND SHALL TAKE APPROPRIATE MEASURES TO PREVENT TRACKING OF MUD AND/OR SOILS ONTO EXISTING AND /OR NEW PAVEMENT. ANY TRACKING THAT OCCURS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
7. INLET PROTECTION SHALL BE INSTALLED AT ALL CURB INLETS TO PREVENT SEDIMENTS AND SOILS FROM ENTERING THE STORM DRAINAGE SYSTEM.
8. AT A MINIMUM, PERIMETER CONTROLS SUCH AS SILT FENCE OR STRAW BALES SHALL BE INSTALLED AT ALL DOWN SLOPE BOUNDARIES AND AS WARRANTED WHERE PAVEMENT REMOVAL, UTILITY CONSTRUCTION, GRADING OR OTHER CONSTRUCTION ACTIVITIES ARE TO BE PERFORMED. THE CONTRACTOR SHALL AT ALL TIMES TAKE SUCH MEASURES AS NECESSARY TO MINIMIZE OFFSITE TRACKING OR TRANSPORT OF SEDIMENT AND DEBRIS.
9. DAMAGE TO ADJACENT PROPERTY AND/OR TO RECEIVING WATERS CAUSED BY IMPROPERLY INSTALLED OR POORLY MAINTAINED EROSION CONTROL MEASURES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY SILTATION CAUSED BY HIS OPERATIONS AND/OR FAILURE OF THE EROSION MEASURES.
11. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND SEDIMENT FROM EROSION CONTROL MEASURES WHEN IT REACHES A DEPTH OF SIX (6) INCHES OR IMPAIRS THE EFFECTIVENESS OF THE MEASURES.
12. THE OWNER'S REPRESENTATIVE WILL INSPECT THE PROJECT EVERY FOURTEEN (14) DAYS, AT A MINIMUM, AND AFTER EVERY RAINFALL OF ONE-HALF INCH OR GREATER TO DETERMINE THE INTEGRITY AND EFFECTIVENESS OF THE EROSION CONTROL MEASURES. A WRITTEN INSPECTION REPORT WILL BE FILED WITH THE SW3P. THIS INSPECTION DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES OR HIS DUTY TO COMPLY WITH THE INTENT AND CONDITIONS OF THE T.P.D.E.S. GENERAL PERMIT.
13. ALL STOCKPILED SOILS WILL BE SURROUNDED BY A STRAW BALE DIKE, SILT FENCE, SEDIMENT CONTROL SWALE OR EQUIVALENT MEASURE TO PROPERLY CONTROL SEDIMENT RUNOFF.
14. THE CONTRACTOR SHALL STABILIZE ANY AREA WHERE CONSTRUCTION ACTIVITY IS TO BE TEMPORARILY OR PERMANENTLY CEASED FOR MORE THAN 14 DAYS.
15. THE CONTRACTOR SHALL DESIGNATE A CONCRETE TRUCK WASHOUT AREA. WASTE CONCRETE AND ASSOCIATED WATER AND MATERIALS WILL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.
16. THE CONTRACTOR SHALL CONSTRUCT A BERM OR OTHER SPILL PROTECTION MEASURES FOR ANY TEMPORARY FUEL STORAGE TANK(S) ON SITE.
17. IF SUMP PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, THE DISCHARGE SHALL BE FILTERED TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
18. EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT THE CONTRACTOR'S RISK. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOOD DAMAGE WHICH OCCURS AS A RESULT OF BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE CLEARED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.



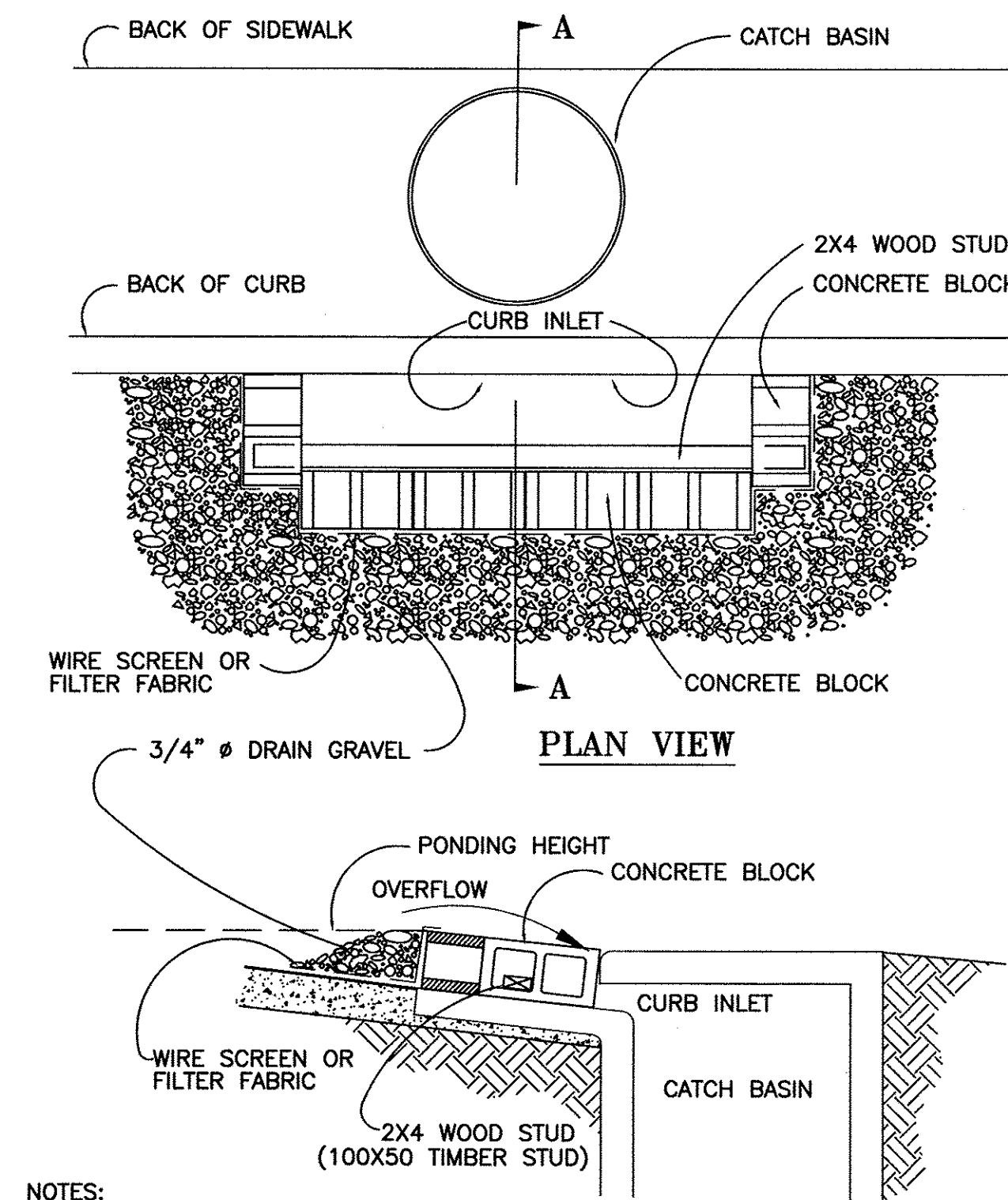
SILT FENCE GENERAL NOTES:

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY WEEK AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



NOTES:

1. USE BLOCK AND GRAVEL TYPE SEDIMENT BARRIER WHEN CURB INLET IS LOCATED IN GENTLY SLOPING STREET SEGMENT, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. BARRIER SHALL ALLOW FOR OVERFLOW FROM SEVERE STORM EVENT.
3. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

SECTION A - A

INLET PROTECTION

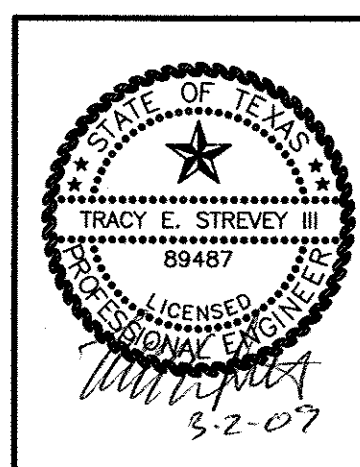
OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTH LAKE, TEXAS 76092
(ATTN: ANDREW MILLER)

Baird, Hampton & Brown, Inc.
Engineering & Surveying
4650 SH 360, SUITE 180 GRAPEVINE, TX 76051
Tel: (817) 338-9246 Fax: (817) 338-1777
E-Mail: info@bhbc.com

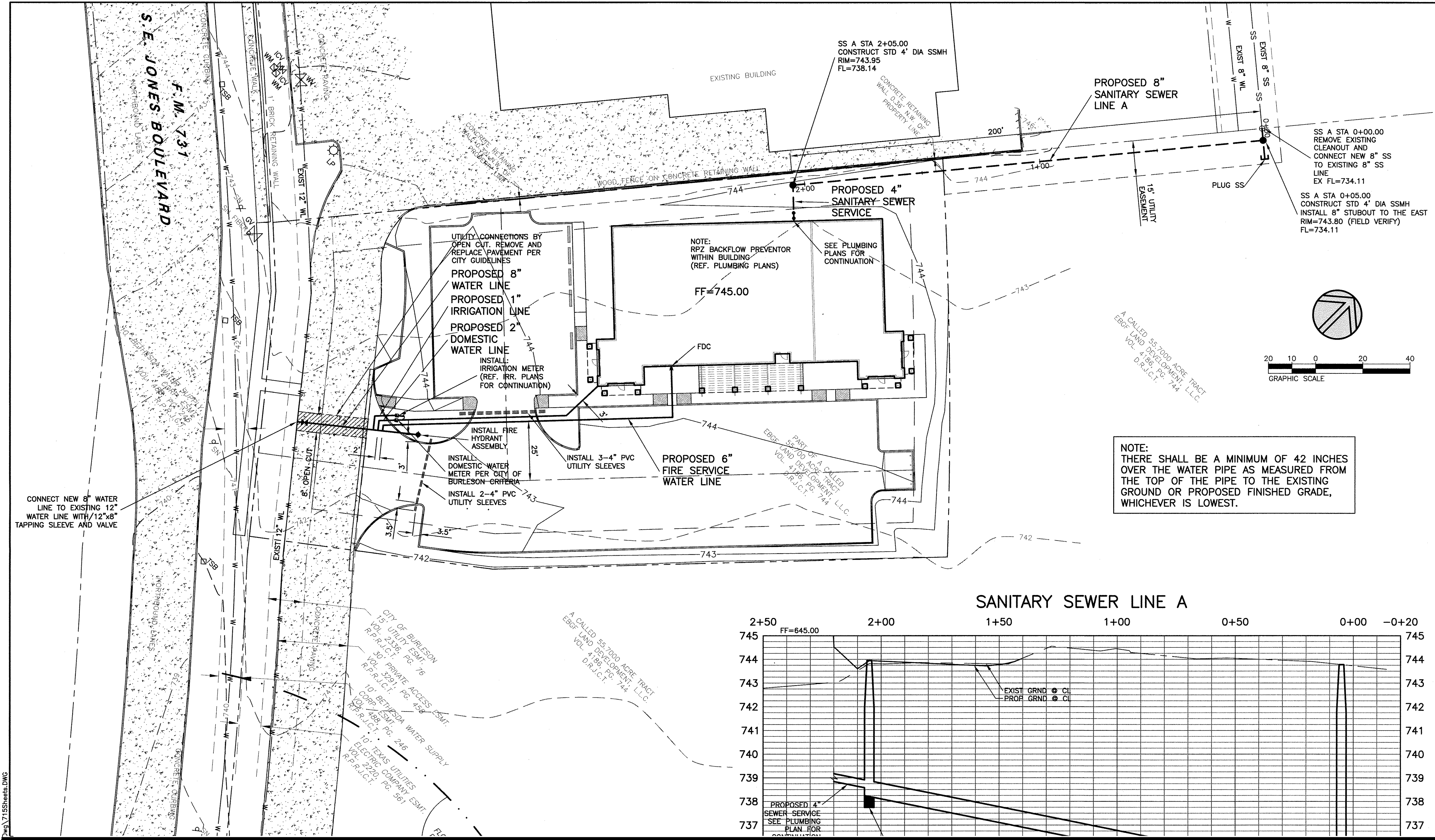
NO.	REVISIONS	DATE
DESIGNED: TS	DRAWN: McK	CHECKED: KB
		DATE: 02-27-09

EROSION CONTROL DETAILS AND GENERAL NOTES

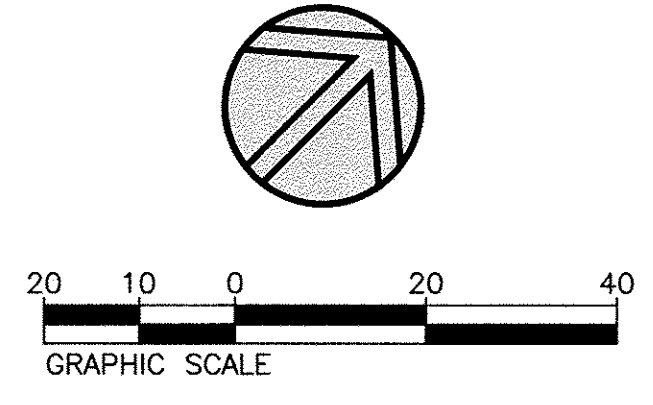
CookChildren's
MEDICAL OFFICE
City of Burleson, Johnson County, Texas



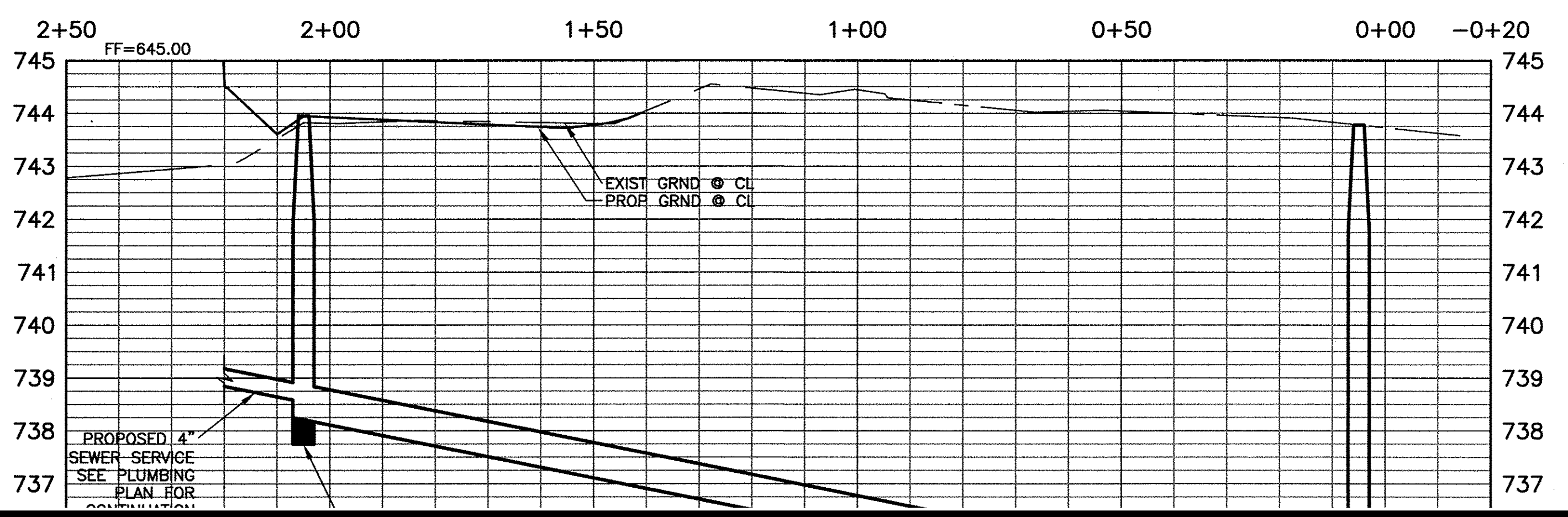
BHB PROJECT NO:
2008.715.001
SHEET NO:
4.2



NOTE:
THERE SHALL BE A MINIMUM OF 42 INCHES
OVER THE WATER PIPE AS MEASURED FROM
THE TOP OF THE PIPE TO THE EXISTING
GROUND OR PROPOSED FINISHED GRADE,
WHICHEVER IS LOWEST.



SANITARY SEWER LINE A



Dwg 715Sheets.DWG

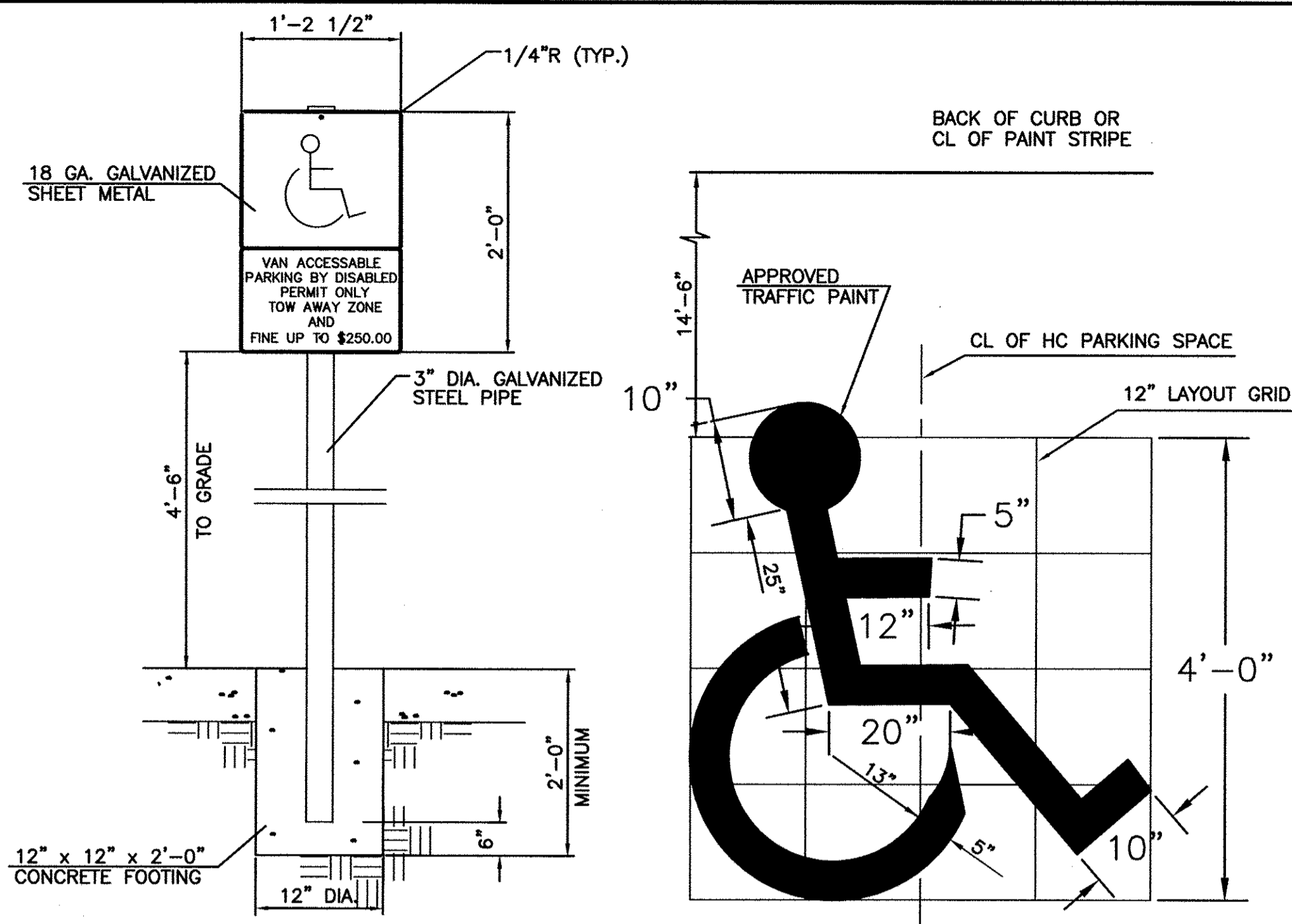
OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTH LAKE, TEXAS 76092
(ATTN: ANDREW MILLER)

Baird, Hampton & Brown, Inc.
Engineering & Surveying
4550 SH 360, SUITE 180, GRAPEVINE, TX 76051 Tel: (817) 338-4245 Fax: (817) 338-1277 E-Mail: baib@bahb.com

NO.	DESIGNED:	DRAWN:	REVISIONS	CHECKED:	DATE:
	TS	McK	KB		02-27-09

UTILITY PLAN

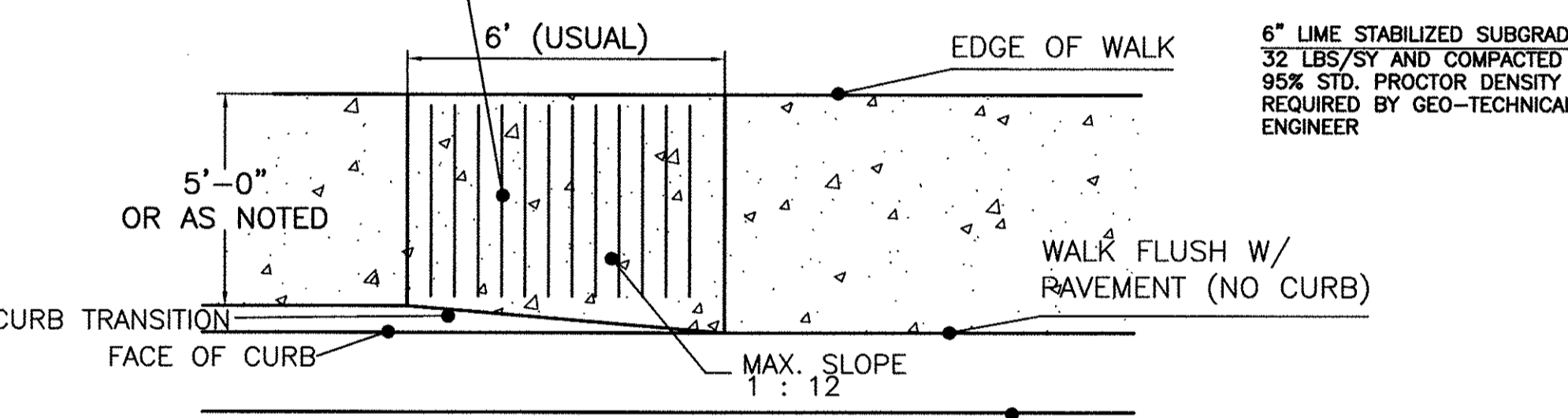
CookChildren's
MEDICAL OFFICE
City of Burleson, Johnson County, Texas



HANDICAP SIGNAGE DETAIL

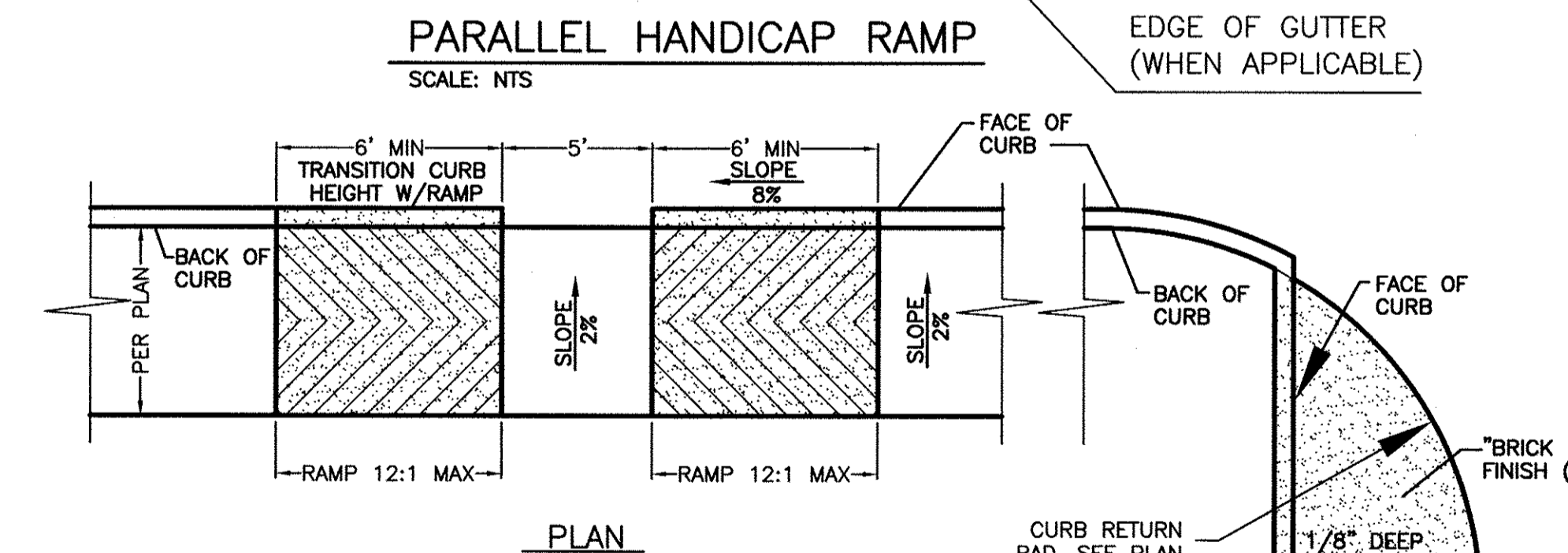
HANDICAP SYMBOL

ALL RAMPS AND FLARED SIDES SHALL HAVE DETECTABLE WARNINGS, CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF 0.90" AND HIGHT OF 0.20" AND A CENTER TO CENTER SPACING OF 2.35" AND SHALL BE INTEGRALLY COLORED- "BRICK RED", BY USE OF A POWDERED COLOR ADMIXTURE, APPLIED DURING THE FINISHING PROCESS. (TYPICAL ALL RAMPS)



CONCRETE PAVEMENT

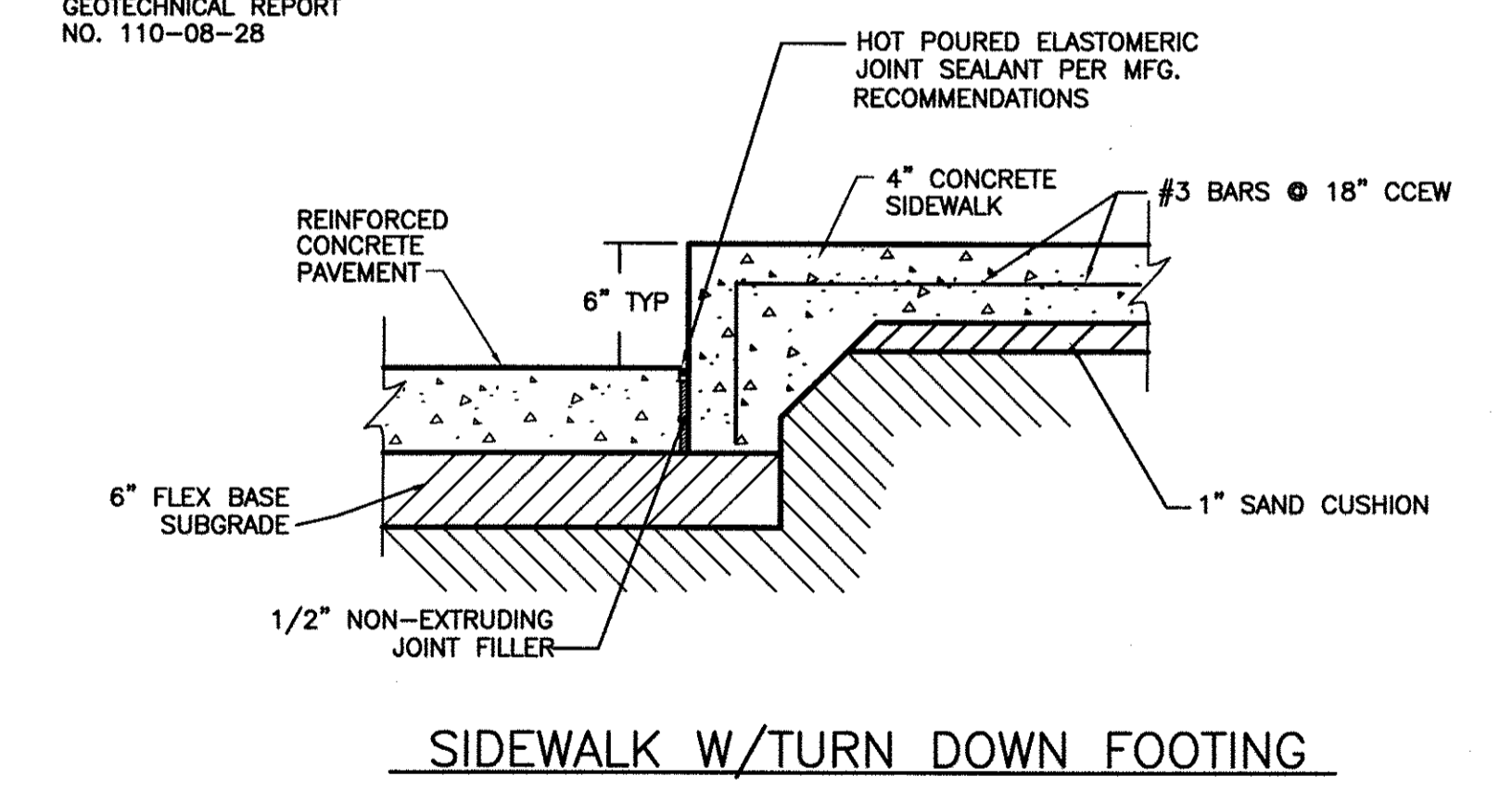
CONCRETE PAVEMENT JOINTS



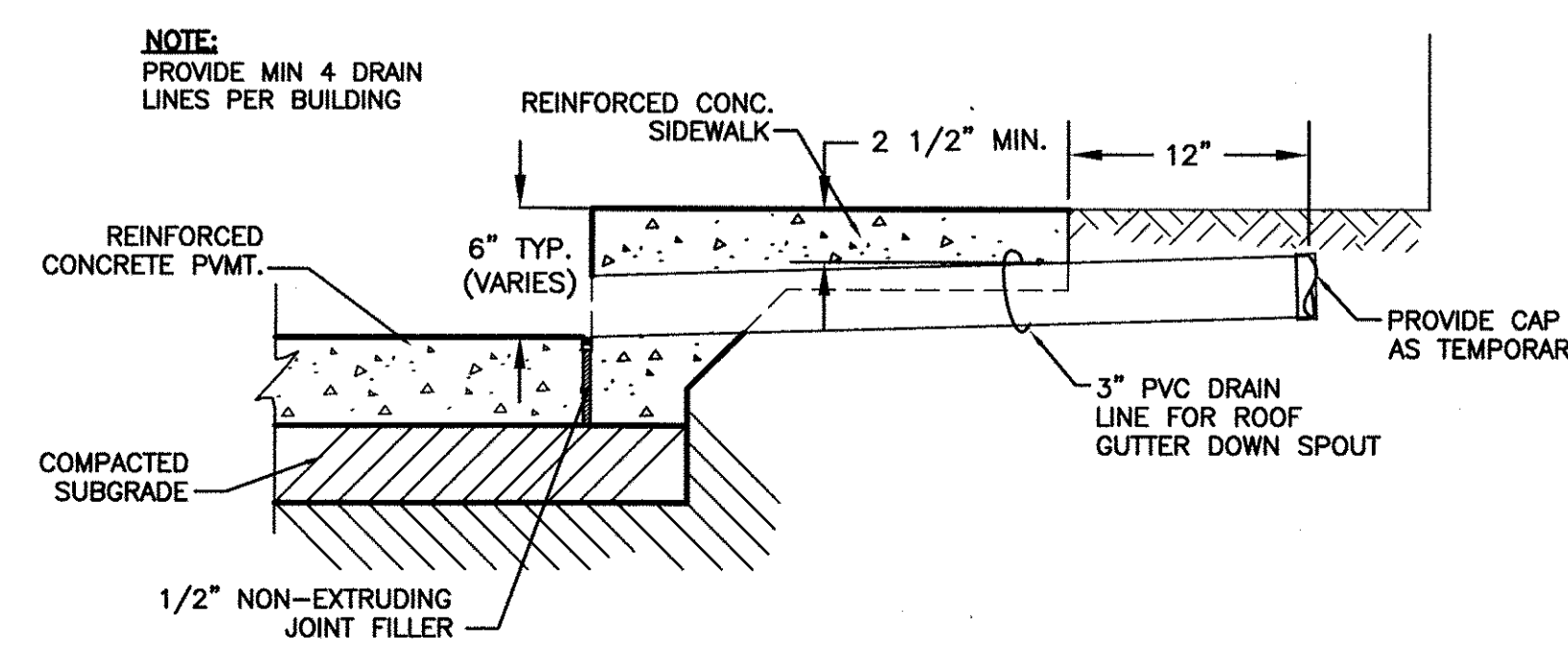
CURB RAMP DETAILS

PLAN AT CURB RETURN

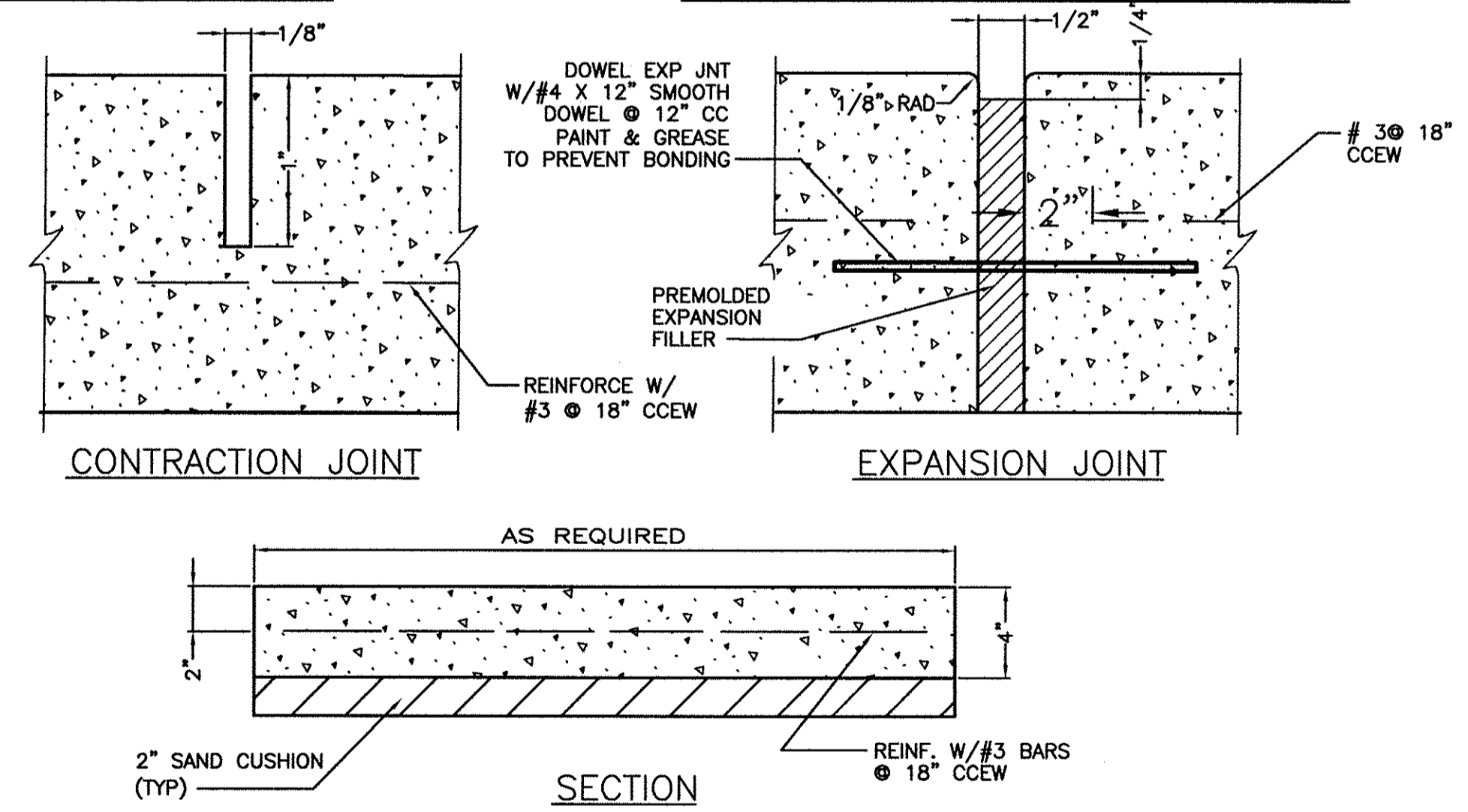
- NOTES:**
1. MAXIMUM LONGITUDINAL SLOPE 1:12
 2. MAXIMUM TRANSVERSE SLOPE 50:1
 3. MINIMUM WIDTH 36"
 4. PROVIDE 1/4" DEEP GROOVES, 3/4" WIDE AND 2" ON CENTER, ARRANGED AS SHOWN TO NOT ACCUMULATE WATER.
 5. PATTERNED SURFACE SHALL BE FINISHED IN "BRICK RED", BY USE OF A POWDERED COLOR ADMIXTURE APPLIED DURING FINISHING.
 6. CONSTRUCT IN ACCORDANCE WITH SIDEWALK DETAIL AND CITY OF FORT WORTH CRITERIA.



SIDEWALK W/TURN DOWN FOOTING



DOWN SPOUT DRAIN LINE

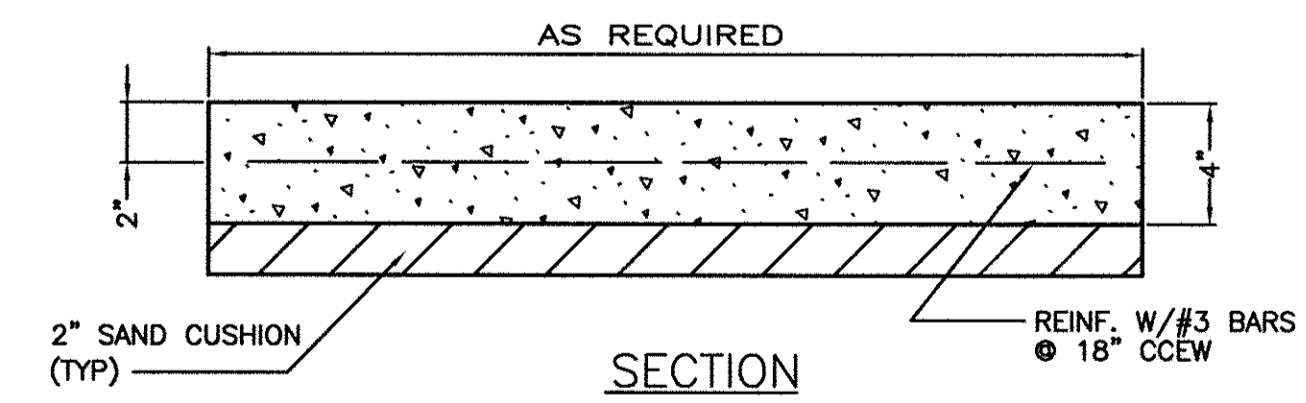


MONOLITHIC CONCRETE CURB

STANDARD 6\"/>

CONTRACTION JOINT

EXPANSION JOINT



SIDEWALK DETAILS

1. PROVIDE TRANSVERSE CONTRACTION JOINTS AT INTERVALS NOT EXCEEDING SIDEWALK WIDTH. PROVIDE CENTERLINE CONTRACTION JOINTS IN SIDEWALKS WIDER THAN 8'-0". SPACING OF CENTERLINE CONTRACTION JOINTS SHALL NOT EXCEED 6'-0".
2. PROVIDE EXPANSION JOINTS AT INTERVALS NOT EXCEEDING 42'-0" ON CENTER. ALIGN EXPANSION JOINTS WITH CURB & GUTTER EXPANSION JOINTS WHERE APPLICABLE.
3. PROVIDE GRAY HOT Poured ELASTOMERIC JOINT SEALANT AT ALL EXPANSION JOINTS.
4. PROVIDE EXPANSION JOINT AND SEALANT AT ALL STRUCTURES ABUTTING SIDEWALKS.
5. PROVIDE EXPANSION JOINT AND GRAY HOT Poured ELASTOMERIC JOINT SEALANT AT INTERFACE OF CURB AND SIDEWALK AT ALL LOCATIONS WHERE SIDEWALK IS ADJACENT TO CURB.

REINFORCED CONCRETE PAVEMENT:
FIRE LANES AND DRIVE AISLES SHALL BE 7" THICK, 3,500 PSI CONCRETE REINFORCED WITH #3 BARS AT 18" CCEW

PARKING AREAS SHALL BE 6" THICK, 3,500 PSI CONCRETE REINFORCED WITH #3 BARS AT 18" CCEW

6" LIME STABILIZED SUBGRADE AT 32 LBS/SY AND COMPACTED TO 95% STD. PROCTOR DENSITY AS REQUIRED BY GEO-TECHNICAL ENGINEER

1/8" WIDE X 1.5" DEEP SAWCUT

HOT Poured ELASTOMERIC JOINT SEALANT PER MFG. RECOMMENDATIONS

CONTRACTION JOINT

15" LONG 3/4" DIA. DOWEL @ 18" CC PAINTED & OILED

HOT Poured ELASTOMERIC JOINT SEALANT PER MFG. RECOMMENDATIONS

EXPANSION JOINT

1. PROVIDE CONTRACTION JOINTS @ 12'± GRID SPACING OR AS SHOWN.
2. PROVIDE EXPANSION JOINTS @ 100' MAX SPACING OR AS SHOWN.
3. CONSTRUCTION JOINTS SHALL BE PLACED AT CONTRACTION OR EXPANSION JOINT LOCATIONS AND DOWELED & SEALED PER JOINT TYPE.

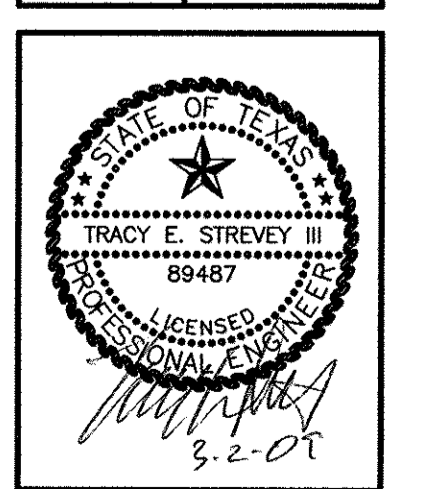
OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTH LAKE, TEXAS 76092
(ATTN: ANDREW MILLER)

BHB Engineering & Surveying, Inc.
4650 SH. 360, SUITE 180 (RAPERVINE, TX 76061) TEL: (817) 338-1277 FAX: (817) 338-9246 E-Mail: bhb@bhbinc.com

NO.	REVISIONS	CHECKED:	DATE:
		McK	01-20-09
		TS	

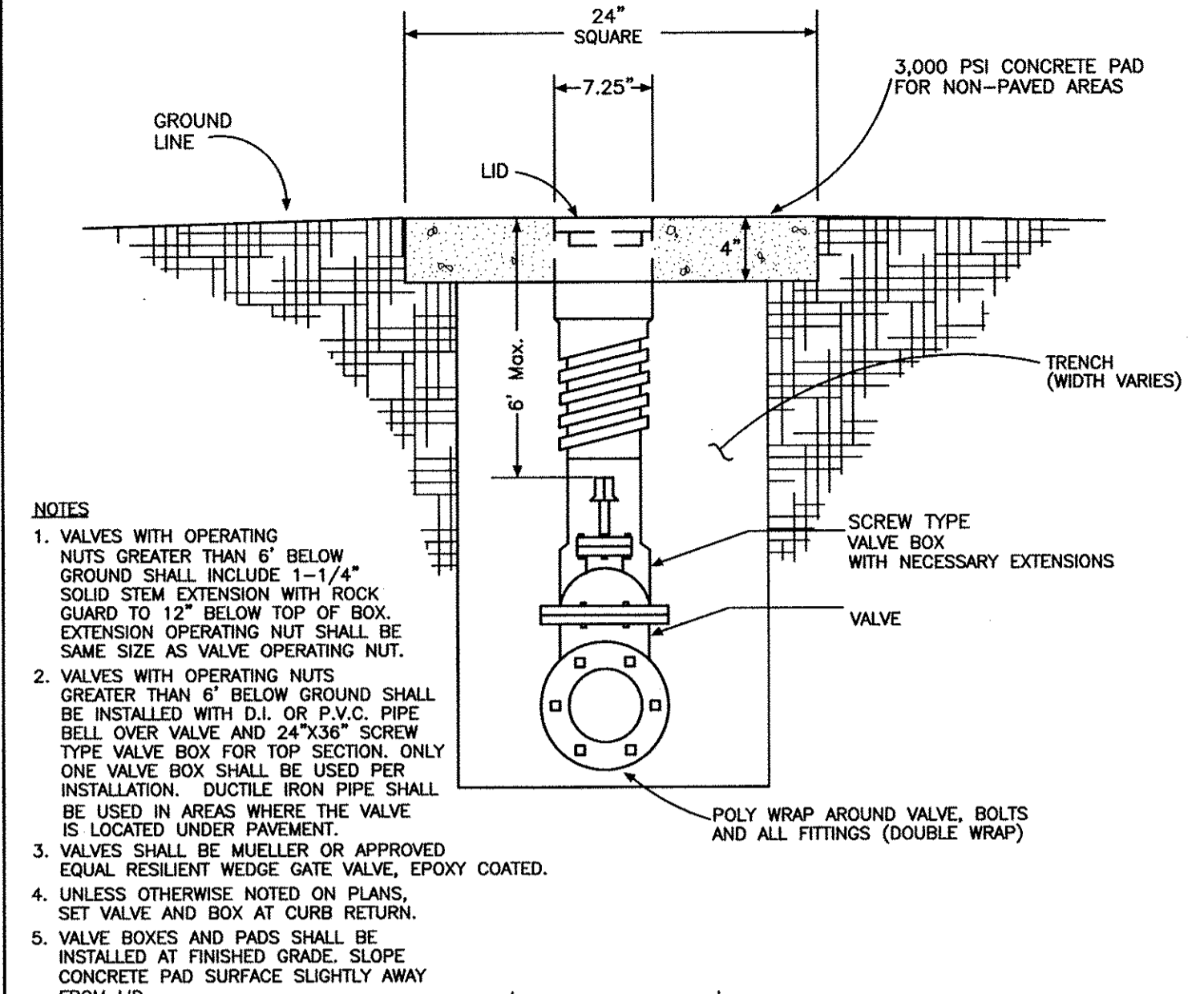
CONSTRUCTION DETAILS
(1 OF 3)

CookChildren's
MEDICAL OFFICE
City of Burleson, Johnson County, Texas

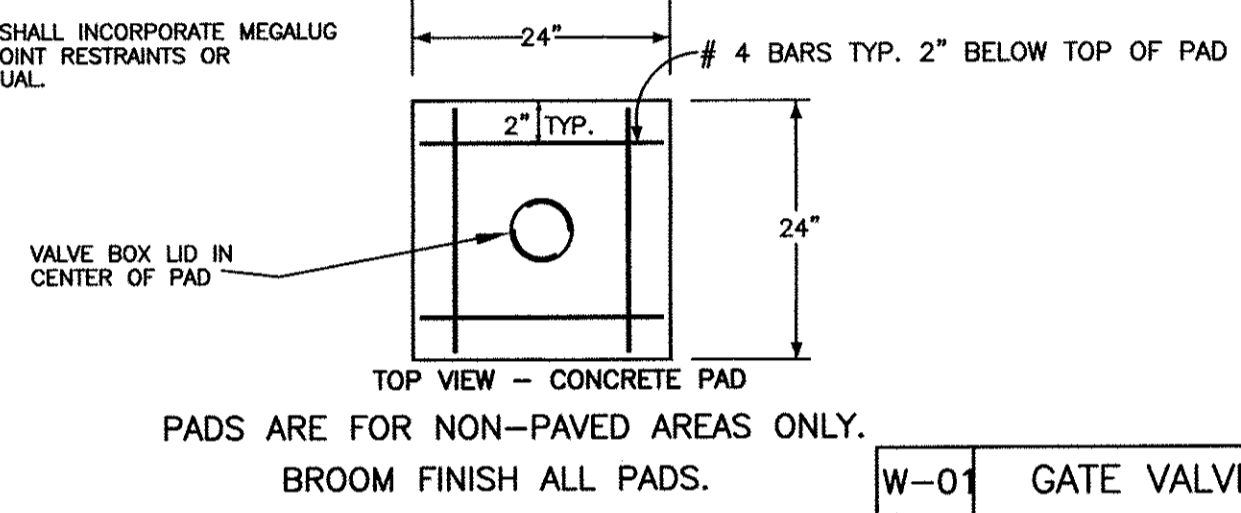


Feb 27, 2009 - 2:32pm
DRAWING FILE: E:\2008\000.000\2008.715.001.Dwg 715Details.dwg

Jan 20, 2009 11:26am
 DRAWING FILE: E:\2008.000.000\2008.715.001\DWG\715DETAILS.DWG

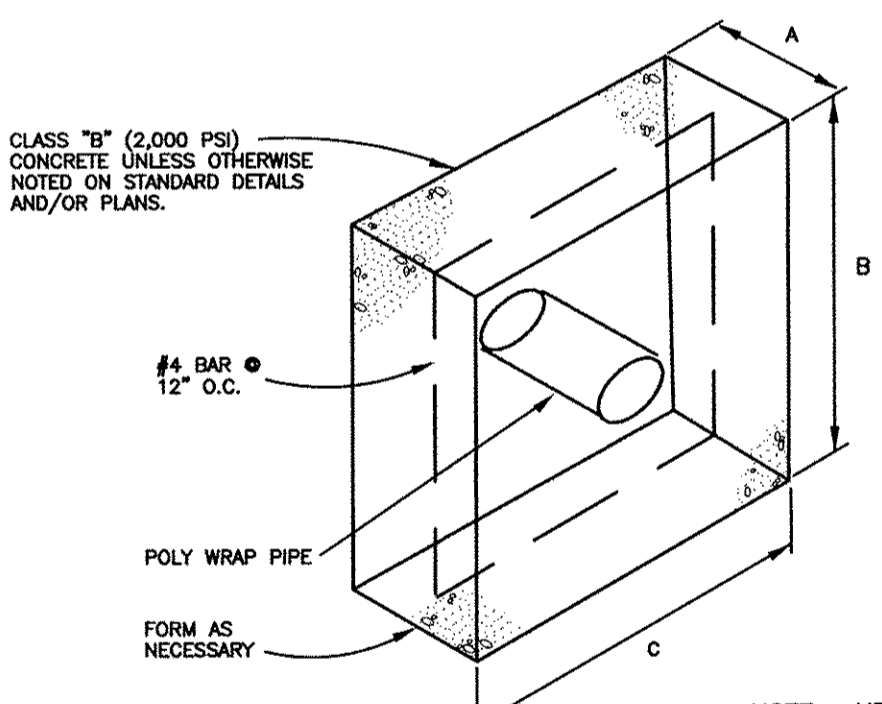


- NOTES**
- VALVES WITH OPERATING NUTS GREATER THAN 6" BELOW GROUND SHALL INCLUDE 1-1/4" SOLID STEM EXTENSION WITH ROCK GUARD TO 12" BELOW TOP OF BOX. EXTENSION OPERATING NUT SHALL BE SAME SIZE AS VALVE OPERATING NUT.
 - VALVES WITH OPERATING NUTS GREATER THAN 6" BELOW GROUND SHALL BE INSTALLED WITH D.I. OR P.V.C. PIPE BELL OVER VALVE AND 2"x3/8" SCREW TYPE VALVE BOX FOR TOP SECTION. ONLY ONE VALVE BOX SHALL BE USED PER INSTALLATION. DUCTILE IRON PIPE SHALL BE USED IN AREAS WHERE THE VALVE IS LOCATED UNDER PAVEMENT.
 - VALVES SHALL BE MUELLER OR APPROVED EQUAL RESILIENT WEDGE GATE VALVE, EPOXY COATED.
 - UNLESS OTHERWISE NOTED ON PLANS, SET VALVE AND BOX AT CURB RETURN.
 - VALVE BOXES AND PADS SHALL BE INSTALLED AT FINISHED GRADE. SLOPE CONCRETE PAD SURFACE SLIGHTLY AWAY FROM LID.
 - ALL FITTINGS SHALL INCORPORATE MEGALUG MECHANICAL JOINT RESTRAINTS OR APPROVED EQUAL.



PADS ARE FOR NON-PAVED AREAS ONLY.
 BROOM FINISH ALL PADS.

W-01	GATE VALVE
CITY OF BURLESON	
ORIGINAL	10/6/06 SWC
REVISION	
REVISION	
REVISION	

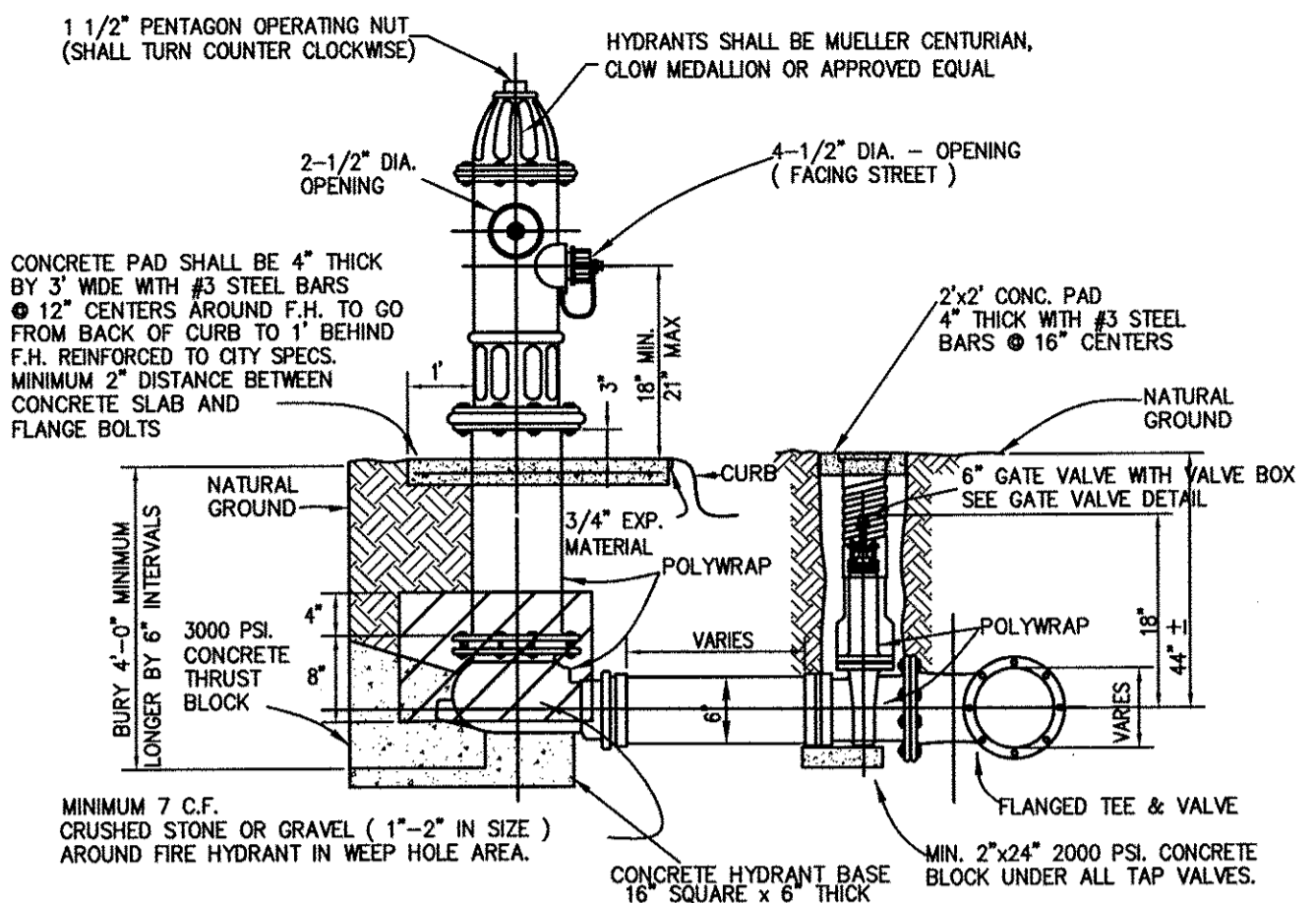


NOTE: KEEP CONCRETE CLEAR OF PIPE JOINTS & BOLTS.

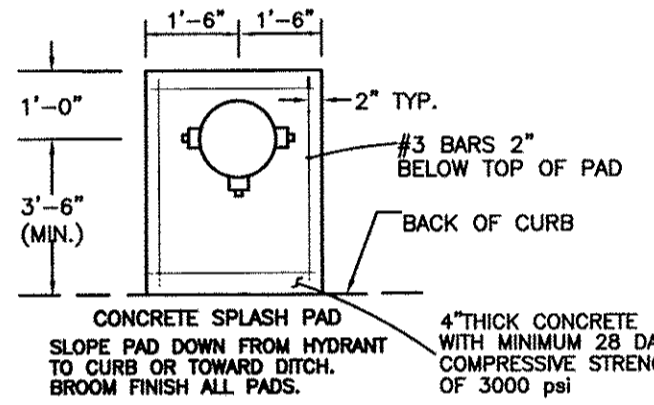
PIPE NOMINAL DIA. (in.)	BENDS	90°				45°				22-1/2°				11-1/4°			
		*VOL. REQ'D.	C.F.	A	FT.	*VOL. REQ'D.	C.F.	A	FT.	*VOL. REQ'D.	C.F.	A	FT.	*VOL. REQ'D.	C.F.	A	FT.
6	A	28.27	1.75	2.0	4.0	22.61	1.5	2.0	4.0	11.33	1.0	2.0	4.0	5.65	0.75	2.75	2.75
	B	4.0	3.88	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36
	C	4.0	3.88	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36	3.36
8	A	50.27	2.0	2.0	4.0	40.21	1.75	2.0	4.0	20.11	1.5	2.0	4.0	10.05	1.0	3.2	3.2
	B	5.0	4.8	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66
	C	5.0	4.8	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66	3.66
10	A	78.54	2.25	2.0	4.0	62.83	2.0	2.0	4.0	31.41	1.75	2.0	4.0	15.71	1.5	3.25	3.25
	B	5.9	5.6	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25
	C	5.9	5.6	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25	4.25
12	A	153.94	4.0	3.5	2.0	123.15	3.5	2.0	4.0	61.57	2.0	2.0	4.0	30.79	1.75	4.2	4.2
	B	6.2	6.0	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54
	C	6.2	6.0	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54	5.54

*VOLUME CALCULATED ON THE BASIS OF CONCRETE REACTING THRUST ON THE RESPECTIVE BENDS UNDER AN INTERNAL PRESSURE OF 150 PSIG AT THE RATE OF 150 LB. WT. PER CU. FT. OF CONCRETE.

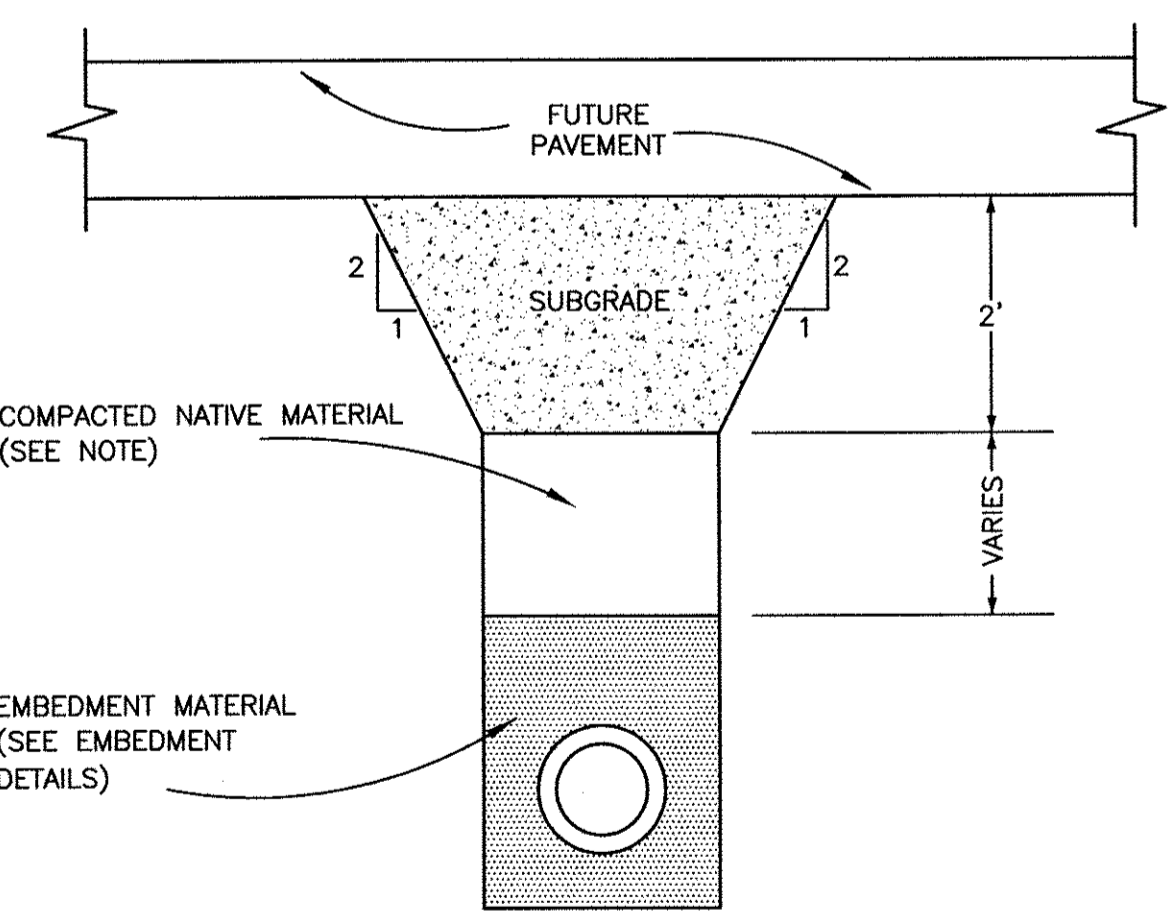
W-10	VERTICAL TIE-DOWN BLOCK
CITY OF BURLESON	
ORIGINAL	10/6/06 SWC
REVISION	
REVISION	



- NOTES:**
- FIRE HYDRANTS SHALL NOT BE INSTALLED IN EXISTING OR PROPOSED SIDEWALKS
 - FIRE HYDRANTS SHALL BE INSTALLED PRIMED ONLY. THEY SHALL BE PAINTED AFTER INSTALLATION.
 - FIRE HYDRANTS SHALL BE COATED WITH 2 COATS BENJAMIN MOORE PAINT RUST INHIBITOR #16378 ALUMINUM OR EQUAL.
 - DOUBLE WRAP ALL D.I. FITTINGS WITH POLY WRAP INCLUDING BOLTS AND NUTS.
 - INSTALL RESTRAINED OFFSET BENDS OR "GRADELOCK" FITTINGS ON FIRE HYDRANT SUPPLY LINE SO FIRE HYDRANT BURY DEPTH IS NO GREATER THAN SIX FEET.
 - ALL FITTINGS SHALL INCORPORATE MEGALUG MECHANICAL JOINT RESTRAINTS OR APPROVED EQUAL.
 - SMVEL SOLID ADAPTER ON CONCRETE CYLINDER PIPE FLANGED OUTLET.

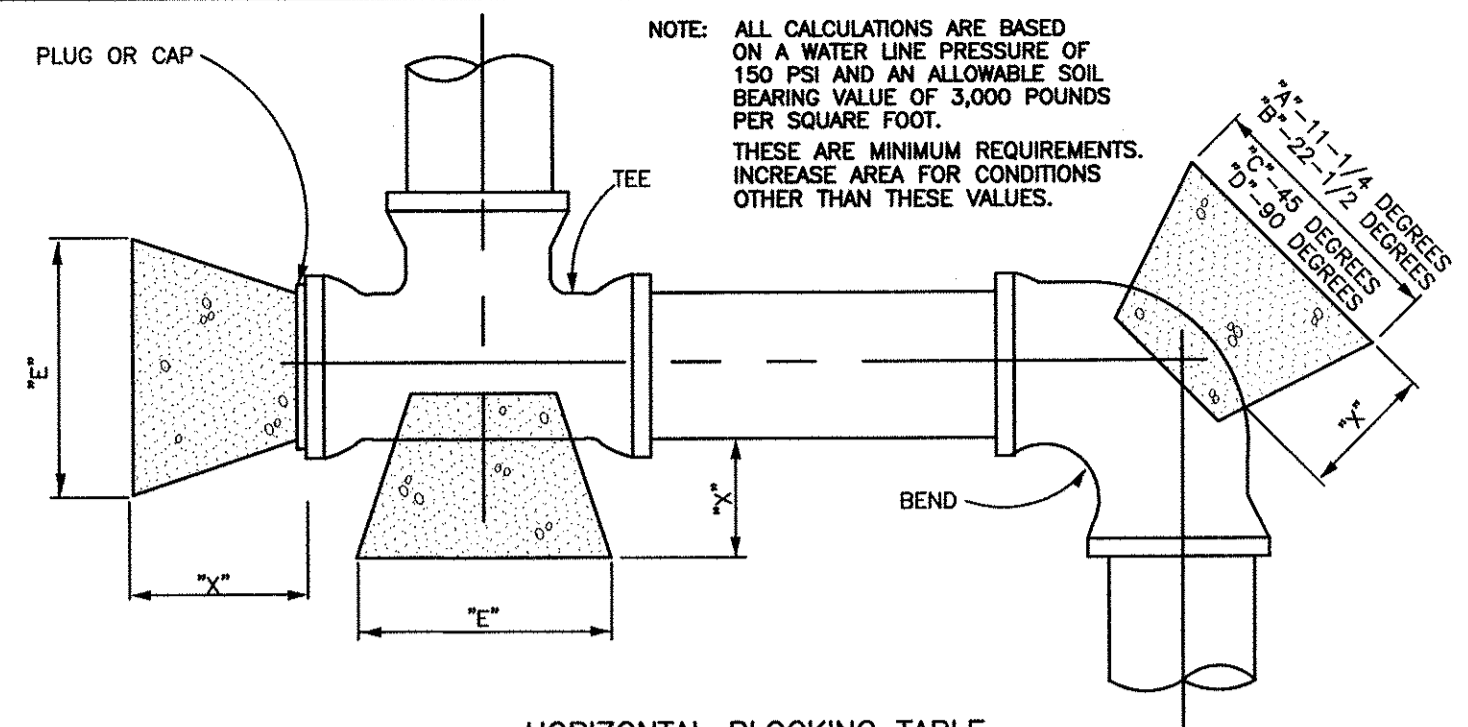


W-02	FIRE HYDRANT
CITY OF BURLESON	
ORIGINAL	10/6/06 SWC
REVISION	
REVISION	



NOTE:
 FOR LINES BEING LAID PRIOR TO NEW STREET CONSTRUCTION, WHICH WILL LIE BENEATH PAVEMENT OR CURB AND GUTTER, BACKFILL ABOVE PIPE EMBEDMENT SHALL CONSIST OF NATIVE MATERIAL, COMPACTED IN MAX. 6" TO 9" LIFTS (COMPACTED THICKNESS) TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT ±2%.

W-15	STREET BACKFILL PRIOR TO STREET CONSTRUCTION
CITY OF BURLESON	
ORIGINAL	10/6/06 SWC
REVISION	
REVISION	

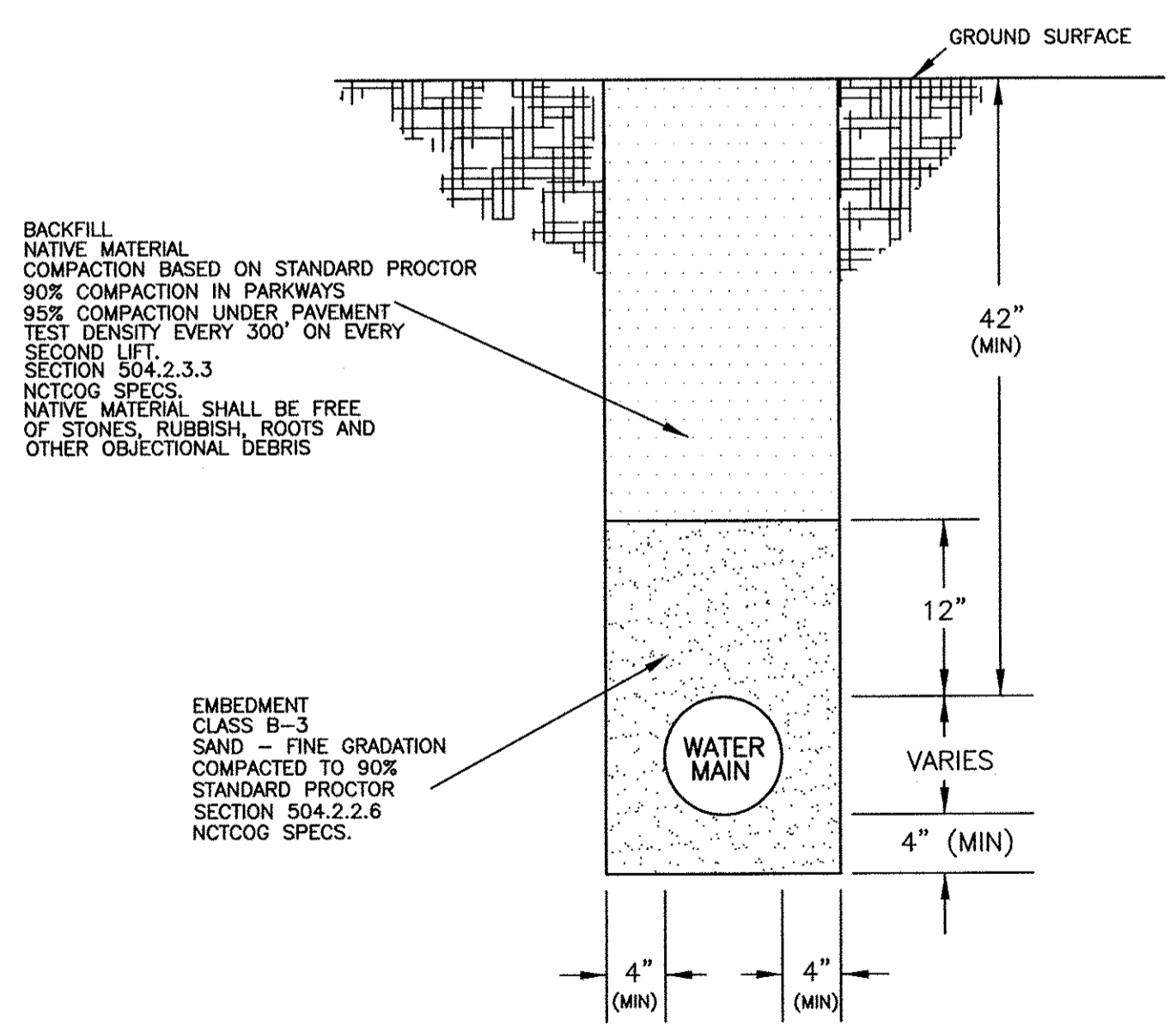


HORIZONTAL BLOCKING TABLE

PIPE SIZE	D.I. IN. FT.	11-1/4 DEGREES		22-1/2 DEGREES		45 DEGREES		90 DEGREES		TEE & PLUG	
		"A"	MIN. AREA	"B"	MIN. AREA	"C"	MIN. AREA	"D"	MIN. AREA	"E"	MIN. AREA
4"	1.5	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.06	1.00	1.00
6"	1.5	1.00	1.00	1.00	1.00	1.14	1.30	1.55	2.40	1.30	1.70
8"	1.5	1.00	1.00	1.08	1.18	1.52	2.31	2.07	4.27	1.74	3.02
10"	1.5	1.00	1.00	1.35	1.84	1.90	3.61	2.58	6.66	2.17	4.71
12"	1.5	1.00	1.33	1.63	2.65	1.86	5.19	3.10	9.60	2.61	6.79
14"	1.5	1.03	1.81	1.90	3.60	2.66	7.07	3.61	13.06	3.04	9.24
16"	2.0	1.18	2.36	2.17	4.71	3.04	9.23	4.13	17.06	3.47	12.06
18"	2.0	1.33	2.99	2.44	5.98	3.42	11.69	4.65	21.59	3.91	15.27
20"	2.0	1.48	3.70	2.71	7.35	3.80	14.43	5.16	26.66	4.34	18.85
21"	2.0	1.55	4.07	2.85	8.11	3.99	15.91	5.42	29.39	4.56	20.79
24"	2.0	1.77	5.32	3.25	10.59	4.56	20.77	6.20	38.39	5.21	27.14
27"	2.5	1.99	6.73	3.66	13.40	5.13	26.29	6.97	48.58	5.86	34.35
30"	2.5	2.22	8.31	4.07	16.55	5.70	32.46	7.74	59.88	6.51	42.41
33"	2.5	2.44	10.06	4.47	20.02	6.27	39.28	8.52	72.57	7.16	51.31
36"	2.5	2.68	11.97	4.88	23.83	6.84	46.74	9.29	86.37	7.81	61.07
39"	3.0	2.88	14.05	5.29	27.97	7.41	54.86	10.07	101.36	8.47	71.68
42"	3.0	3.10	16.30	5.69	32.43	7.98	63.62	10.85	117.56	9.12	83.13

NOTE: CLASS "B" CONCRETE 2,000 PSI SHALL BE USED FOR ALL BLOCKING UNLESS OTHERWISE NOTED ON STANDARD DETAILS AND / OR PLANS.
 THE MINIMUM VERTICAL DIMENSION OF ALL BLOCKING SHALL BE 1.5 TIMES THE PIPE DIAMETER WITH AT LEAST 0.75 TIMES THE PIPE DIAMETER EXTENDING BOTH ABOVE AND BELOW THE PIPE CENTERLINE. THIS DIMENSION DETERMINES THE "A" DIMENSION FOR 11-1/4° BENDS.
 FOR 22-1/2°, 45°, 90°, AND TEES AND PLUGS, THE VERTICAL DIMENSION SHALL BE EQUAL TO THE HORIZONTAL DIMENSION SHOWN TO PRODUCE THE REQUIRED MINIMUM AREA.
 ALL MINIMUM AREAS ARE IN SQUARE FEET.
 BLOCKING TO BE AGAINST UNDISTURBED TRENCH WALLS AND BOTTOM.
 DOUBLE WRAP ALL D.I. FITTINGS INCLUDING BOLTS AND NUTS WITH POLY WRAP AND TAPE IN PLACE.

W-04	HORIZONTAL THRUST BLOCKING
CITY OF BURLESON	
ORIGINAL	10/6/06 SWC
REVISION	
REVISION	

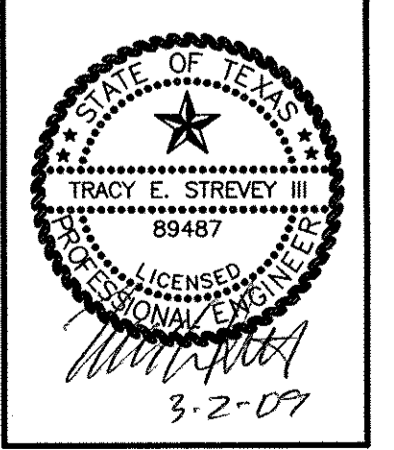


W-05	WATER MAIN EMBEDMENT
CITY OF BURLESON	
ORIGINAL	10/6/06 SWC
REVISION	
REVISION	

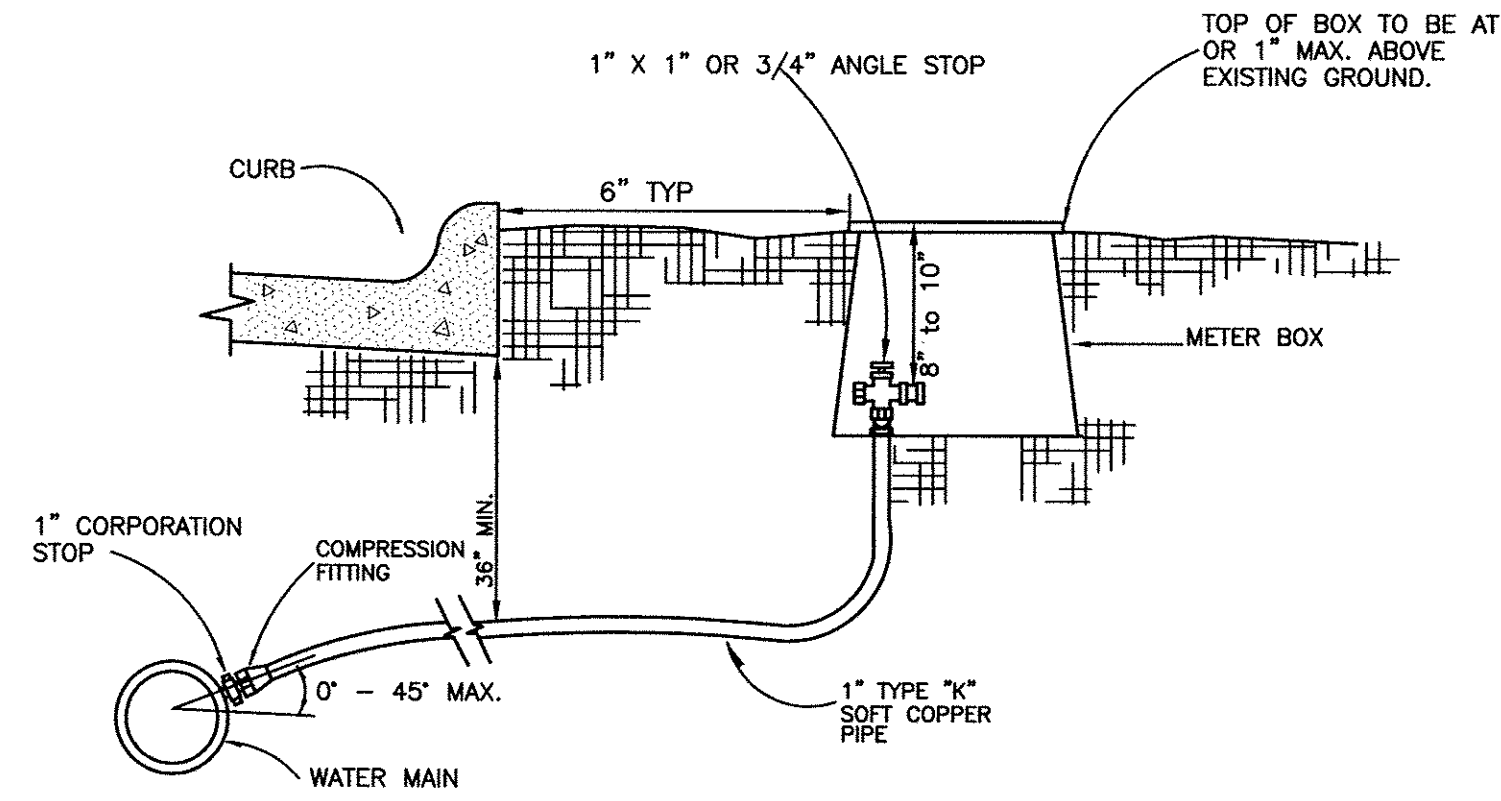
OFFICE EQUITY SOLUTIONS
 365 MIRON STREET, SUITE A
 SOUTHLAKE, TEXAS 76092
 (ATTN: ANDREW MILLER)
Baird, Hampton & Brown, Inc.
 Engineering & Surveying
 4650 SH. 360, SUITE 180, GRAPEVINE, TX 76051 Tel: (817) 338-1277 Fax: (817) 338-9245 E-Mail: info@bhbc.com

NO.	DESIGNED:	TS	DRAWN:	McK	CHECKED:	KB	DATE:	01-20-09
	REVISIONS							

CONSTRUCTION DETAILS
 (2 OF 3)
COOK CHILDREN'S HOSPITAL
 City of Burleson, Johnson County, Texas



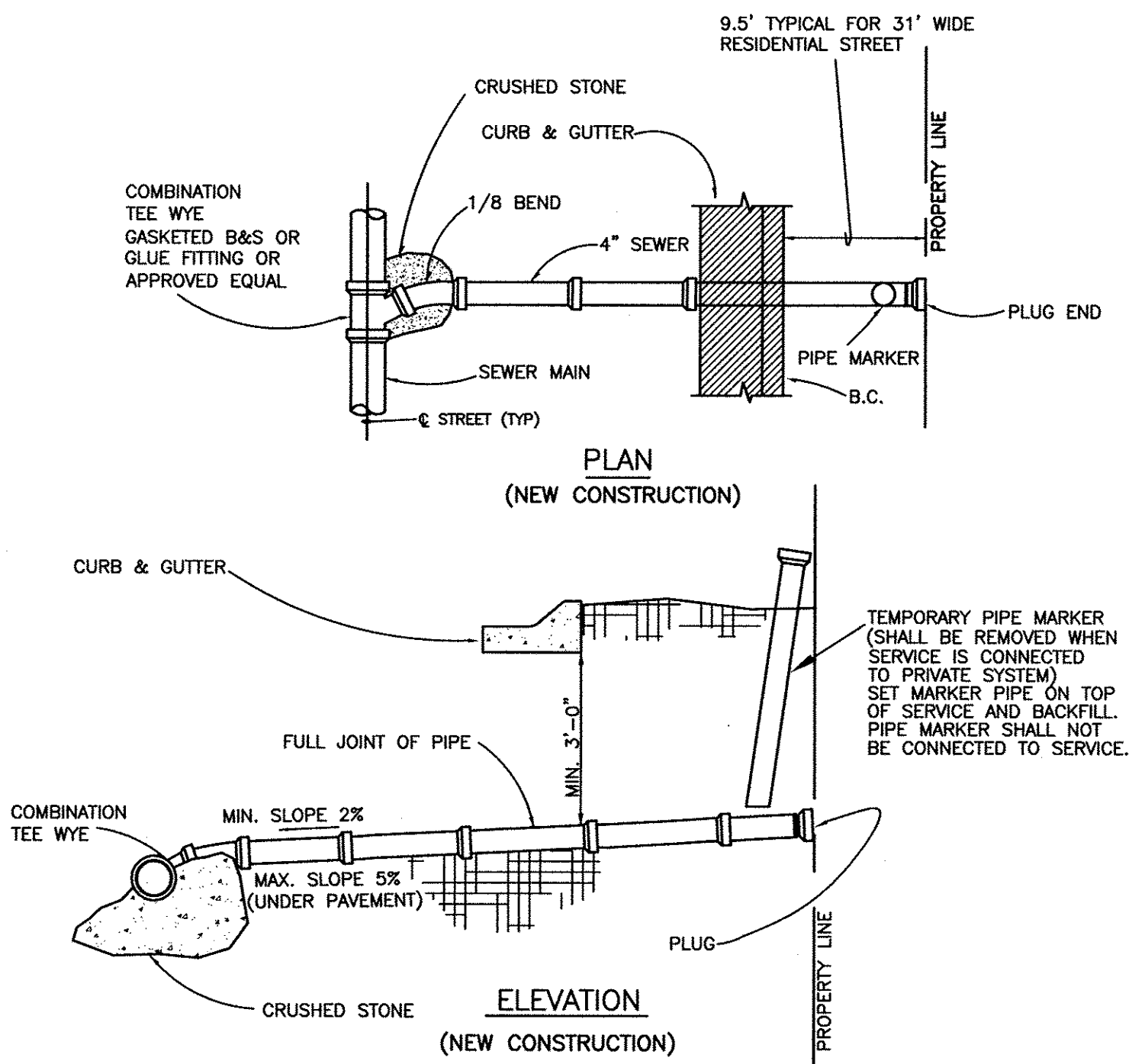
BHB PROJECT NO:
 2008.715.001
 SHEET NO:
 6.1



NOTES

- WHERE TAPPING EXISTING MAINS OR PVC WATER MAINS, STAINLESS STEEL SADDLES SHALL BE USED. COPPER SERVICES SHALL BE CONTINUOUS WITH NO JOINTS FROM CORP. STOP TO QUARTER BEND.
- ALL COPPER FITTINGS SHALL BE COMPRESSION FITTINGS.
- METERS SHALL NOT BE INSTALLED IN EXISTING OR PROPOSED SIDEWALK OR DRIVEWAYS.
- METER BOX SHALL BE: ALLIANCE 1200.SBTR (NON-TRAFFIC) ROTEC DFW36C-SBSM (TRAFFIC)
- ANGLE BALL METER VALVES SHALL BE INSTALLED AND SHALL MEET THE SPECIFICATIONS OF CATALOG NO. B413-332W AS MANUFACTURED BY THE FORD METER BOX COMPANY OR EQUAL.
- ANGLE STOPS SHALL BE FULL ROTATION WITH LOCK RINGS AND METER SPUD.

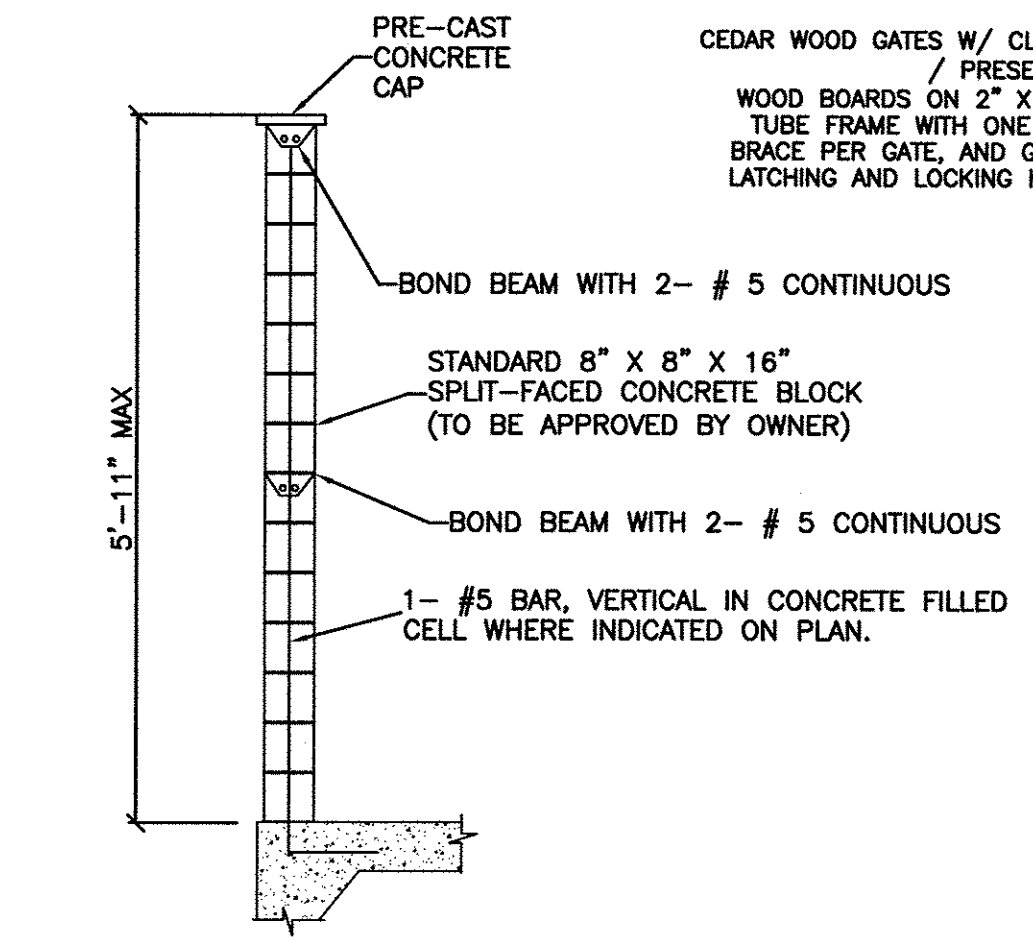
W-07	SINGLE WATER SERVICE 1" SERVICE FOR 1" & 3/4" OUTLETS
ORIGINAL	11/06/06 SWC
REVISION	
REVISION	



ALL SPLICES OF SEWER SERVICES THAT ARE NOT BELL AND SPIGOT SHALL REQUIRE A NON-SHEAR CT ADAPTER WITH HOSE CLAMPS.

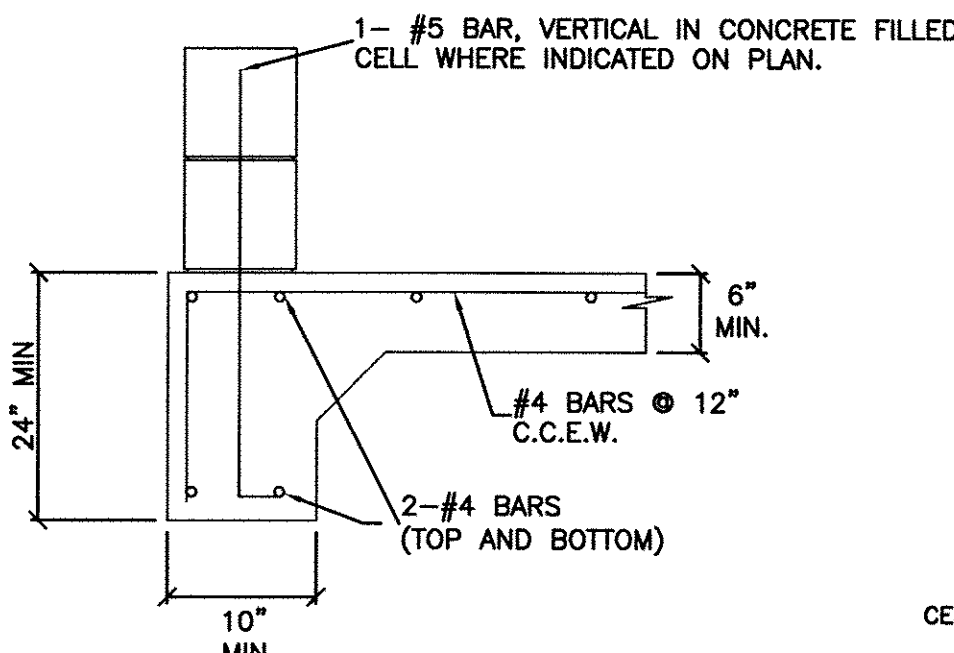
CONNECTION TO AN EXISTING MAIN:
CONNECTION TO AN EXISTING MAIN SHALL BE ACHIEVED WITH CONNECTION OF A BANDED FLEX SADDLE OR AN APPROPRIATELY SIZED RIGID WYE SADDLE. EACH FITTING SHOULD BE COMPLETELY ENCASED IN CONCRETE.

S-01	SANITARY SEWER SERVICE
ORIGINAL	11/06/06 SWC
REVISION	
REVISION	



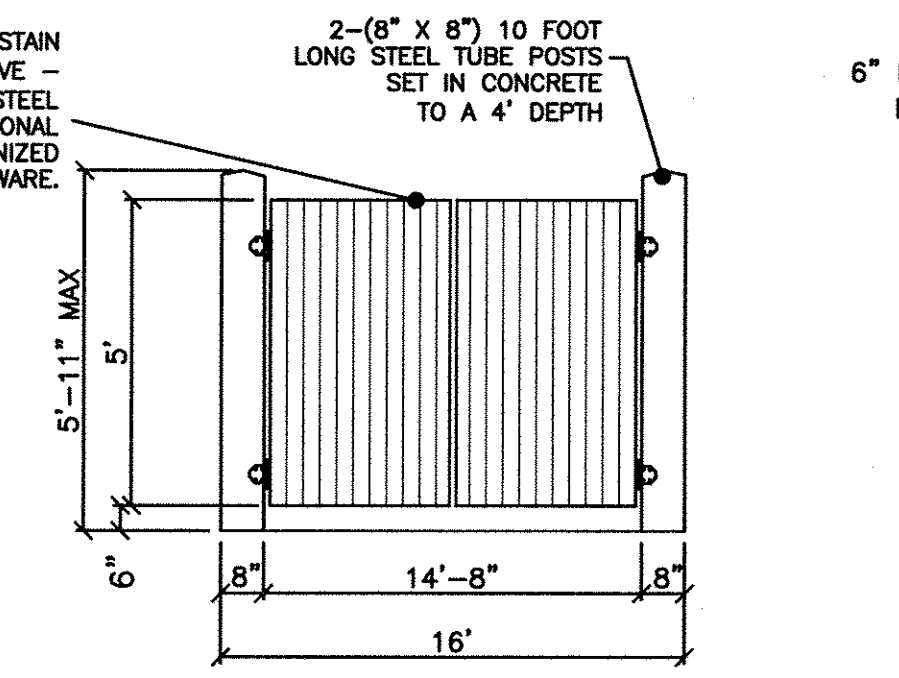
Dumpster Wall Section

N.T.S.



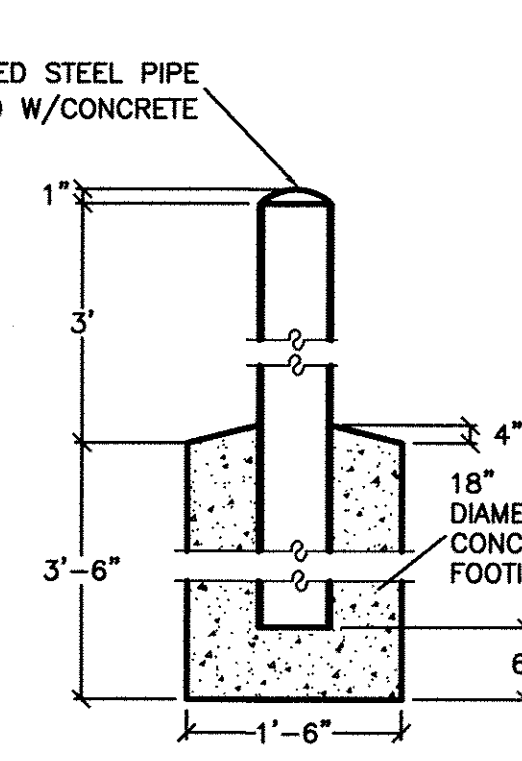
Concrete Dumpster Footing

N.T.S.



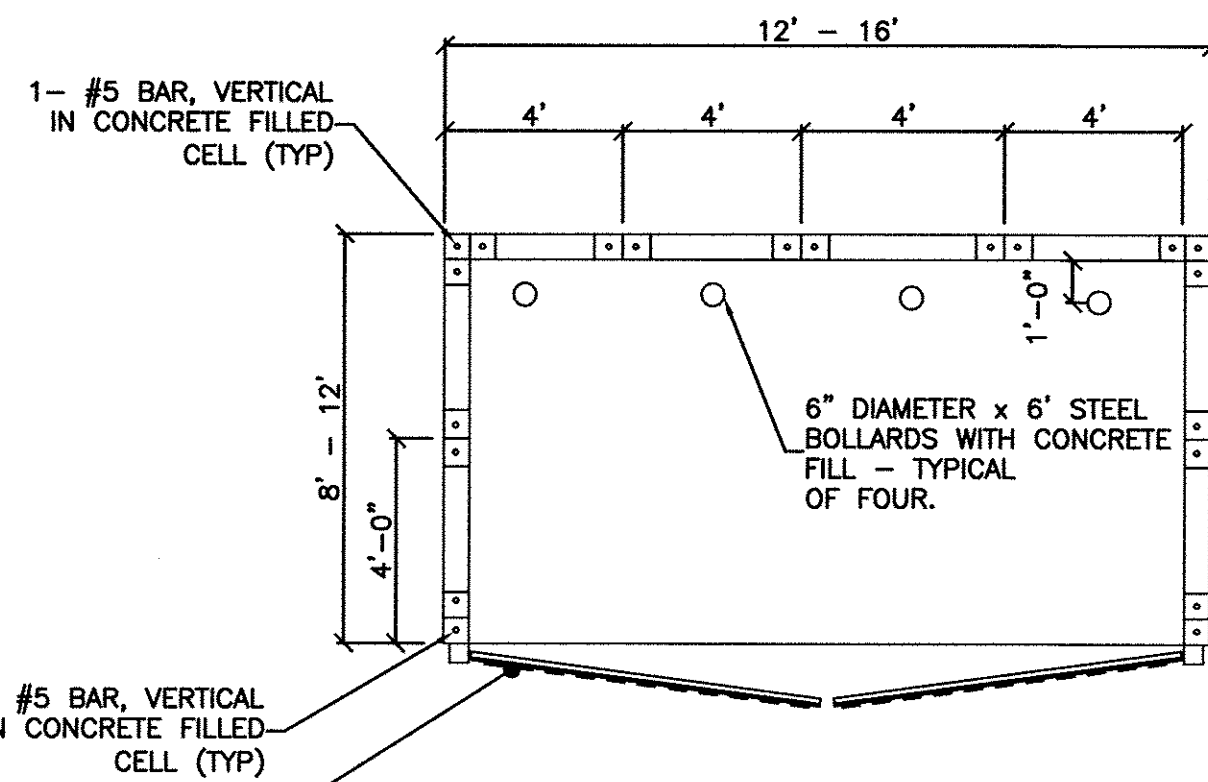
Dumpster Front Elevation

N.T.S. NOTE: ALL STEEL COMPONENTS SHALL BE GALVANIZED OR PRIMED WITH RED OXIDE AND PAINTED BLACK.



Pipe Bollard

N.T.S.

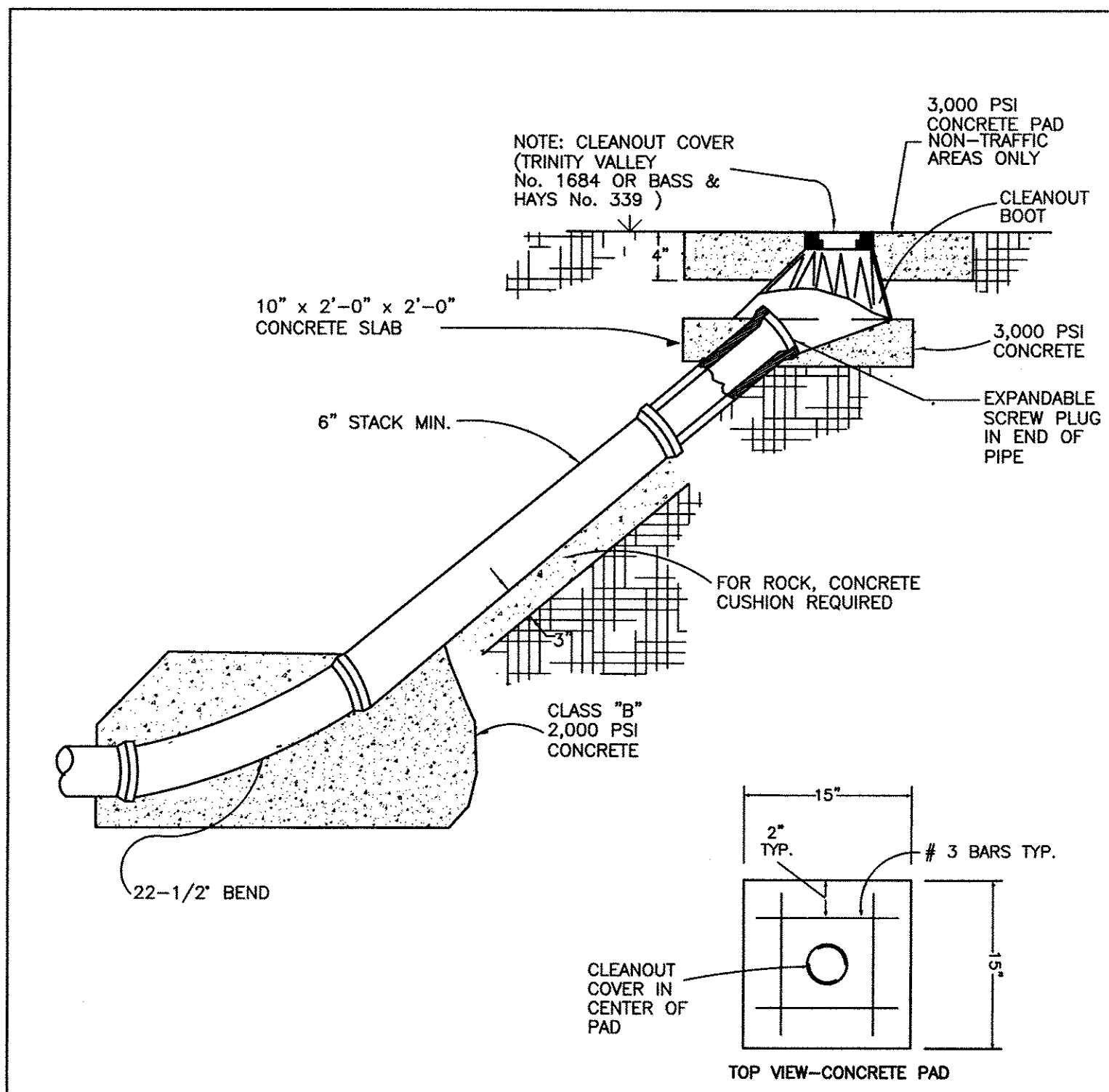


Dumpster Enclosure Plan

N.T.S.

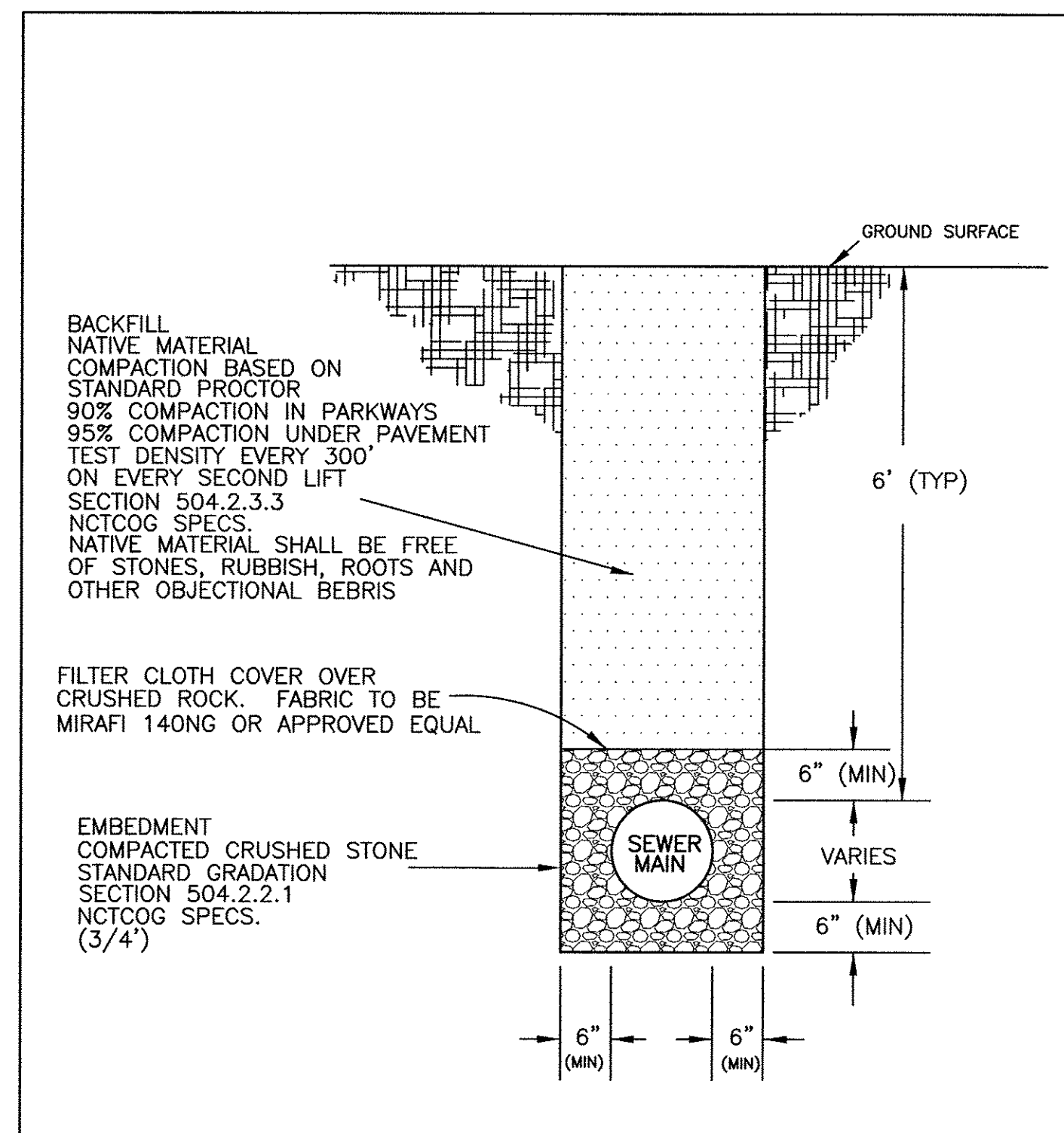
DUMPSTER ENCLOSURE DETAIL

N.T.S.



CLEANOUTS SHALL ONLY BE INSTALLED AT THE ENDS OF LINES THAT WILL BE EXTENDED WITH A FUTURE DEVELOPMENT PHASE.

S-07	SANITARY SEWER CLEANOUT
ORIGINAL	11/06/06 SWC
REVISION	
REVISION	



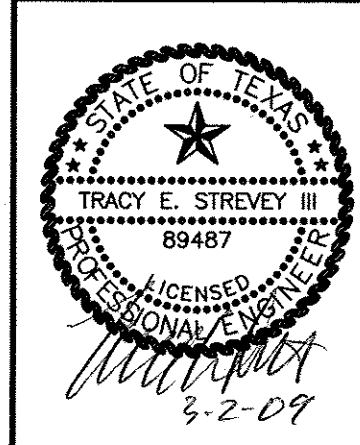
S-05	SANITARY SEWER EMBEDMENT
ORIGINAL	11/06/06 SWC
REVISION	
REVISION	

OFFICE EQUITY SOLUTIONS
365 MIRON STREET, SUITE A
SOUTHLAKE, TEXAS 76092
(ATTN: ANDREW MILLER)

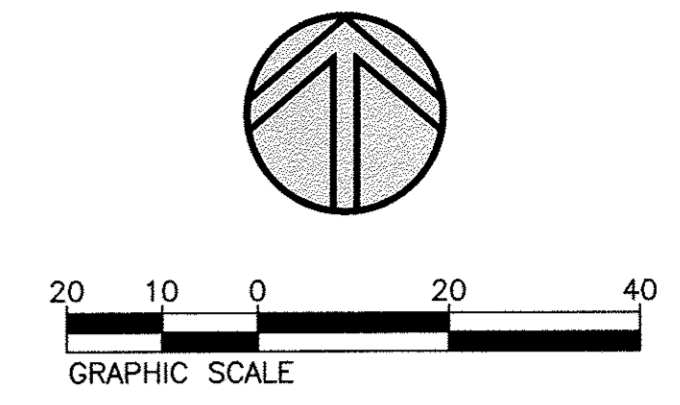
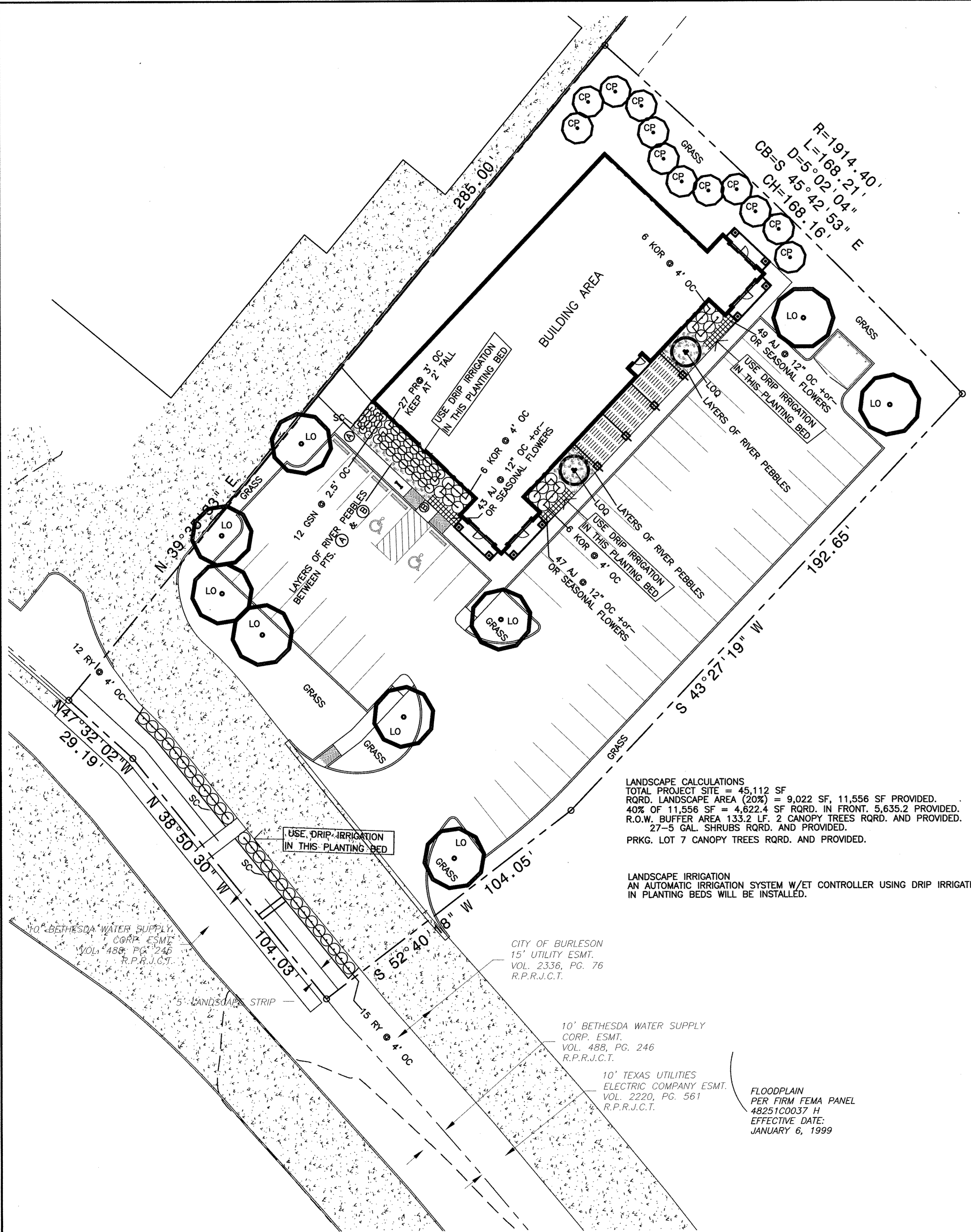
NO.	DESIGNED:	TS	CHECKED:	KB	DATE:	01-20-09
	DRAWN:	McK				
	REVISIONS					

CONSTRUCTION DETAILS
(3 OF 3)

CookChildren's
MEDICAL OFFICE
City of Burleson, Johnson County, Texas



BHB PROJECT NO:
2008.715.001
SHEET NO:
6.2



PLANT LIST

LARGE SHADE TREES

QUA.	ABBR.	DESCRIPTION
9	LO	Oak, Southern Live\Quercus virginiana 3" cal., 12' ht. x 6' spd., single straight trunk, b&b or container

NOTE: PER CITY OF BURLESON ORDINANCE, TREE CALIPER MEASURED 12" ABOVE GRADE.

ORNAMENTAL TREES

QUA.	ABBR.	DESCRIPTION
2	LOQ	Laquat\Eriobotrya japonica 6'-8' tall, full, b&b or container
12	CP	Pear, Callery 'Capital'\Pyrus calleryana 'Capital', single straight trunk, 6'-8' tall, b&b or container

SHRUBS

QUA.	ABBR.	DESCRIPTION
27	RY	Yucca, Red\Hesperaloe parvifolia 5 Gallon
18	KOR	Rose 'Knock Out' \Rose, 'Knock Out' red bloom 5 Gallon
12	GSN	Nandina, Gulfstream\Nandina domestica 'Gulfstream' 5 gal., full
27	PR	Prostrate Rosemary \Rosemarinus Officinalis 'prostrata' 1 gal.

GROUND COVER

QUA.	ABBR.	DESCRIPTION
139	AJ	Jasmine, asian\Trachelospermum asiaticum 4" pot

GRASS

Cynodon dactylon "Tifway 419"	TIFWAY 419 BERMUDA GRASS	SOLID SOD
	OR	
Cynodon dactylon "Texturf 10"	TEXTURF 10 BERMUDA GRASS	SOLID SOD

SC - Pro Steel or equal 3/16" metal landscape edging.

RIVER PEBBLES

Use small-med. Arizona river pebble available at:
 Whiz-Q Stone
 4501 E. Loop 820
 Fort Worth, Texas
 817-429-0822

NOTE: BEFORE BIDDING THIS PROJECT THE LANDSCAPE CONTRACTOR SHALL COMPARE THE PLANT MATERIAL TYPES AND QUANTITIES BETWEEN THE PLANT LIST AND PLANTING PLAN. IF THERE IS A DISCREPENCY THE PLANTING PLAN SHALL GOVERN.

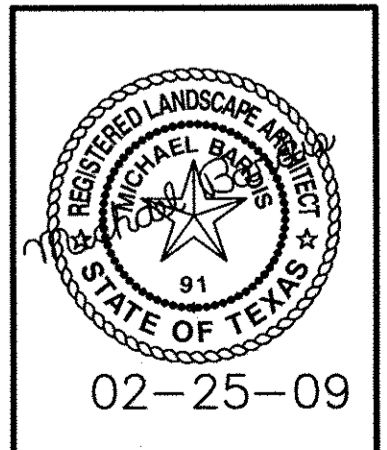
THE PROPERTY OWNER IS FULLY RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATION, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTINGS, INCLUDING PARKWAYS, AS NEEDED. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY GROWING CONDITION AT ALL TIMES.

OFFICE EQUITY SOLUTIONS
 365 MIRON STREET, SUITE A
 SOUTHLAKE, TEXAS 76092
 (ATTN: ANDREW MILLER)

Baird, Hampton & Brown, Inc.
 Engineering & Surveying
 4500 SH. 360, SUITE 190, GRAPESVINE, TX 76051 Tel: (817) 338-1277 Fax: (817) 338-3245 E-Mail: bhbb@bhbb.com

NO.	REVISIONS	DRAWN:	CHECKED:	DATE:
				DATE:

PLANTING PLAN
COOK CHILDREN'S HOSPITAL
 City of Burleson, Johnson County, Texas

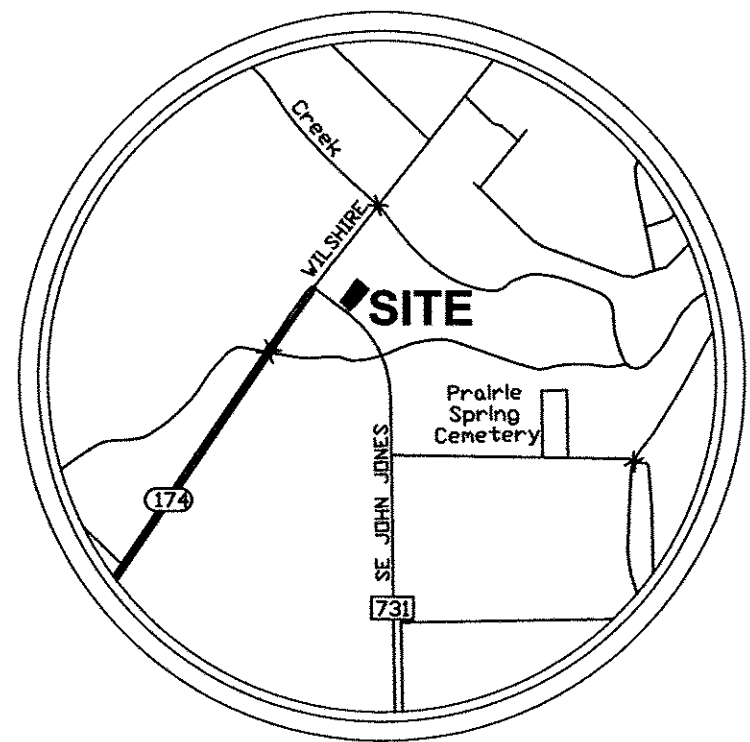


MICHAEL BARDIS
 715 OAKWOOD TR.

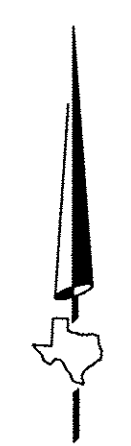
LANDSCAPE ARCHITECT
 FORT WORTH, TEXAS (817) 451-1214

BHB PROJECT NO:
 2008.715.001

SHEET NO:
7.0



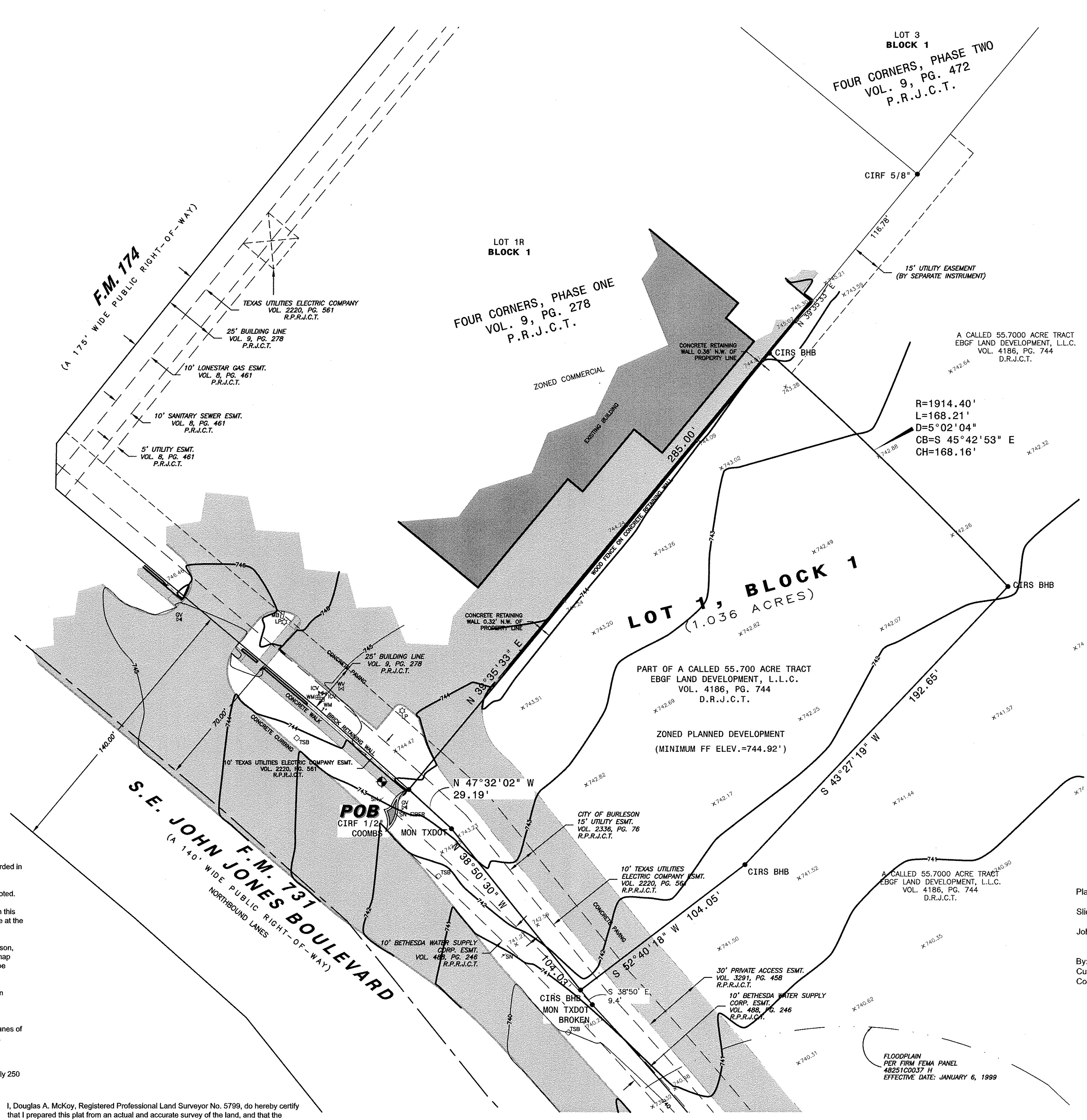
VICINITY MAP
BURLESON, TEXAS
SCALE: 1"=2000'



30' 15' 0 30' 60'
DRAWING SCALE: 1" = 30'

POB - POINT OF BEGINNING	PP - POWER POLE
POC - POINT OF COMMENCEMENT	GW - GUY WIRE
CM - CONTROLLING MONUMENT	LP - LIGHT POLE
[215.30'] - PLAT OR DEED CALL	AC - AIR CONDITIONER
IRF - IRON ROD FOUND	CR - CABLE RISER
IRP - IRON PIPE FOUND	TR - TELEPHONE RISER
CIRF - CAPPED IRON ROD FOUND	TV - TV BOX
CIRS - CAPPED IRON ROD SET	WM - WATER METER
X CUT - X CUT IN CONCRETE	WW - WATER WELLS
TXDOT - TX DEPT TRANS MON.	WV - WATER VALVE
FOP - FENCE CORNER POST	WY - WATER YARD
R.O.W. - RIGHT OF WAY	TH - FIRE HYDRANT
BM - BENCHMARK	CV - CORR. VALVE
B.L. - BUILDING LINE	MHO - MANHOLE (SEE NOTE)
ESMT - EASEMENT	CO - CLEAN OUT
U.E. - UTILITY EASEMENT	OT - OIL TANK
D.E. - DRAINAGE EASEMENT	GM - GAS METER
D.U.E. - DRAINAGE & UTILITY ESMT	GV - GAS VALVE
A.E. - ACCESS EASEMENT	PT - PROPANE TANK
FF - FINISHED FLOOR	CMP - CORRUGATED METAL PIPE
CLM - COLLAR	RCP - REINFORCED CONC. PIPE
MB - MAIL BOX	MW - MONITOR WELL
PM - PARKING METER	TSS - TRAFFIC SIGNAL BOX
FP - FLAG POLE	TSL - TRAFFIC SIGNAL LIGHT
BS - BOLLARD	SN - SIGNAGE (SEE NOTE)
GR - GUARD RAIL	OE - OVERHEAD ELECTRIC
CL - CENTERLINE	SS - SANITARY SEWER
FL - FLOWLINE	WL - WATER LINE
TRM - TRM TRANSFORMER	GS - GAS PIPELINE (SEE NOTE)
EM - ELECTRIC METER	WF - WIRE FENCE
EB - ELECTRIC BOX	WF - WOOD FENCE
	MF - METAL FENCE

- Surveyor's Notes:**
- Basis of Bearing this survey is the East line of Four Corners, Phase One, as shown by plat recorded in Volume 9, Page 278, Plat Records, Johnson County, Texas.
 - All 'CIRS' are a 5/8-inch capped iron rod with plastic cap marked "BHB INC" unless otherwise noted.
 - The City of Burleson reserves the right to require minimum finish floor elevation on any lot within this subdivision. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change.
 - Flood Statement: I have examined the F.E.M.A. Flood Insurance Rate Map for the City of Burleson, Johnson County, Texas, Community Number 485459, effective date January 6, 1999 and that map indicates that this property is in Non-Shaded Zone X, which is defined as "areas determined to be outside the 500-year floodplain" as shown on Panel 0037 H of said map.
 - Elevations shown were obtained via GPS and are reported in the North American Vertical Datum (NAVD) of 1988 us feet.
 - TBM#1
X cut set in the center of a 20 foot by 4 foot inlet, located on the East side of the Northbound lanes of FM 731 and located approximately 600 feet southeast of the intersection of FM 731 & FM 174. Elevation=738.73
 - TBM#2
X cut set on the West edge of a sidewalk on the East side of FM 731 and located approximately 250 feet Southeast of the intersection of FM 731 and FM 174. Elevation=743.58.



LEGAL DESCRIPTION
1.036 ACRE IN THE
B.B.B. & C. R.R. Survey, A-98
JOHNSON COUNTY, TEXAS

WHEREAS EBG Land Development, LLC., is the owner of a 1.036 acre tract of land in the B.B.B. & C. R.R. Survey, A-98, Johnson County, Texas, and being a part of a called 55,700 acre tract of land described in a deed to EBG Land Development, LLC., recorded in Volume 4186, Page 744, Deed Records, Johnson County, Texas, said 1.036 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch capped iron rod (stamped 'COOMBS') found in the Northeast right-of-way line of Farm-to-Market Road Number 731 (a variable width public right-of-way) for the most Southerly corner of Lot 1R, Block 1, Four Corners, Phase I, an addition to the City of Burleson, Johnson County, Texas, according to the plat thereof recorded in Volume 9, Page 278, Plat Records, Johnson County, Texas;

THENCE North 39°35'33" East, with the Southeast line of said Lot 1R, a distance of 285.00 feet to a 5/8-inch iron rod (stamped 'BHB INC') set for the most Northerly corner of the herein described tract, from which a 5/8-inch iron rod found for the most Easterly corner of said Lot 1R bears North 39°35'33" East, a distance of 116.78 feet;

THENCE along the arc of a non-tangent curve to the right a distance of 168.21 feet, having a radius of 1914.40 feet, a central angle of 05°02'04", and a long chord which bears South 45°42'53" East, a distance of 168.16 feet, to a 5/8-inch iron rod (stamped 'BHB INC') set for the Northeast corner of the herein described tract;

THENCE South 43°27'19" West, a distance of 192.65 feet to a 5/8-inch iron rod (stamped 'BHB INC') set for corner;

THENCE South 52°40'18" West, a distance of 104.05 feet to a 5/8-inch iron rod (stamped 'BHB INC') set in said Northeast right-of-way line for the most Southerly corner of the herein described tract, from which the remains of a TXDOT monument bears South 38°50' East, a distance of 9.4' feet;

THENCE North 38°50'30" West, with said right-of-way, a distance of 104.03 feet to a TXDOT monument found for corner;

THENCE North 47°31'30" West, continuing with said right-of-way, a distance of 29.19 feet to the **POINT OF BEGINNING** and containing 1.036 acres (45,111 square feet) more or less.

OWNER'S CERTIFICATE
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, _____, does hereby adopt this plat designating the herein before described property as Reed Parke Addition, Lot 1, Block 1, an addition to the City of Burleson, Johnson County, Texas, and does hereby dedicate to the public use forever all streets, rights-of-way, alleys and easements shown thereon. The City or any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and the City or any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Burleson, Texas.

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned Notary Public in and for said County and State on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated. Given under my hand and seal of office this _____ day of _____, 2009.

Notary Public in and for Wise County _____ My commission expires: _____

My printed name _____

CITY COUNCIL APPROVAL

Approved by the City Council of Burleson, Texas
This the _____ day of _____, 2009.

Mayor, City of Burleson _____

Attest: City Secretary _____

Plat Filed _____, 20____
Slide _____, Vol. _____, Pg. _____
Johnson County Plat Records

By: _____
Curtis H. Douglas
County Clerk

PRELIMINARY PLAT
REED PARKE ADDITION
LOT 1, BLOCK 1
BEING 1.036 ACRES
IN THE B.B.B. & C.R.R. SURVEY A-98
JOHNSON COUNTY
CITY OF BURLESON, TEXAS
JANUARY, 2009

TOTAL LOTS = 1

I, Douglas A. McKoy, Registered Professional Land Surveyor No. 5799, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my supervision.

BHB Baird, Hampton & Brown, Inc.
4550 S.H. 360, Suite 180, Grapevine, Texas 76051
Tel: 817.251.8550 Fax: 817.251.8810 Email: mail@bhbinc.com

Douglas A. McKoy, R.P.L.S. No. 5799 Date _____

Owner:
EBG Land Development, LLC
P.O. Box 2305
Burleson, Texas 76097

Engineer & Surveyor:
Baird, Hampton and Brown Inc.
4550 S.H. 360, Suite 180
Grapevine, Texas 76051
(817) 251-8550