

Raley Creek News

December 2004

State of the Neighborhood - 2004 Review

Light it up!

Be sure to show your community spirit by placing your luminaries on the curb in front of your house on Christmas Eve at dusk. If the weather is bad, we will display them on Christmas Day. If both nights are bad, then save them for New Year's Eve. Ask neighbors to put them out for you if you are away.

You can purchase your own luminaries or buy them from the Garden Club. Here are the dates and times to purchase from the Garden Club:

Jennifer Cooper
11142 Raley Creek Drive South
Sunday, Dec 12th (noon - 5pm)
Friday, Dec 24th (10am - 1pm)

Jackie Faulkingham
1935 Raley Creek Drive East
Sunday, Dec 19th (1pm - 5pm)

The cost is 20 cents per candle/ bag (normal lot = 10 and corner lot = 30). Use cat litter to hold the bag down and fold over the tops of the bag an inch or two.

Wonderwood

We don't have any news on the Fort Caroline entrance. The last update we received was it was to be closed next Summer ('05) in preparations for the Wonderwood expansion. We will try to update you in January.

Dear Neighbors,

Well, it's been about 11 months since my wife and I assumed responsibility for the Garden Club. This year has really gone by fast. It's also been a year of learning for us in terms of Raley Creek. Let us share some of our observations with you:

ACCOMPLISHMENTS

- ⇒ We obtained participation from 100 (71%) houses in the Garden Club dues collection. This was outstanding!
- ⇒ We spent a full day in the Spring cleaning out flower beds, cutting down 12-15 small trees, and trimming overgrown tree limbs. Subsequently, we planted approximately 250-300 plants and trees, spread 18 yards of pine bark, and laid 6 pallets of sod.
- ⇒ We re-engineered the sprinkler system to avoid cars running them over (although that didn't help the Fort Caroline entrance when a tractor trailer ran over the flower bed, leveling the plants, destroying a sprinkler valve box and missing the brick entrance by a foot or two).
- ⇒ We replaced all existing lighting fixtures illuminating the entrance signs, restoring the visibility to our neighborhood that had not been consistently there since at least 2000.
- ⇒ We installed additional lighting at the Monument road entrance for the brick entrance and landscape lighting to really show off at night what our neighborhood is known for during the day, its beautiful trees.
- ⇒ We installed a glass-enclosed lighted bulletin board at the Monument entrance to provide a place to communicate with the neighborhood.
- ⇒ We convinced JTA to reinstall the two post lights on each side of the Monument entrance to their original state prior to the widening of Monument Road.
- ⇒ We had a contractor maintain the entrances (mowing and edging) through October.

CHALLENGES / LEARNINGS

- ⇒ Even fixing the sprinkler and thinning out the tree canopy, the grass sod still looks rough.
- ⇒ Upkeep of the flower beds (ie, weeding, etc) cannot be consistently maintained by the Homeowners. There are simply not enough volunteers and so the burden falls on a few of us. That is just not going to work.
- ⇒ The fence line along Monument Roads looks terrible. It will cost \$200-250 per treatment to have someone mow and edge along that fence line. Once a month with an addition 1-2 times in the Summer should be sufficient, but needs to be budgeted for.

As you can see, we got a lot done this year. Jenn and I want to personally thank the 25-30 people who helped out through the year. Without you, none of this would have been done. As for 2005, we have some ideas we would like people to consider and will share those in January along with a survey to get your feedback on what we do next as you submit your dues for next year. We feel really good that the foundation is now in place and simple things, such as painting the fence columns a contrasting color (not the brick part :-)) or hiring a contractor to properly maintain the flower beds could make a world of difference. Also, when we took over, our goal was to get property values to \$300k in 2-3 years. In 2004, many houses have sold in the \$250k range and some even as high as \$275k. We're well on our way to achieving that goal...

Happy Holidays and see you in 2005!

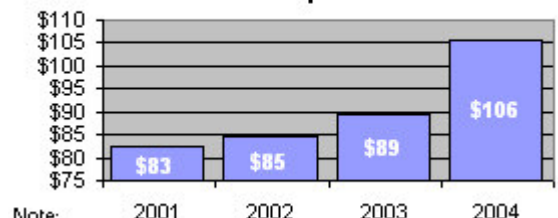
Dean & Jennifer Cooper

11142 Raley Creek Drive South
Home: (904) 564-1715
Email: GardenClub@RaleyCreek.com

Financials

Balance (February 1, 2004)	\$419
+ Dues Collections.....	\$6,665
- Renovation 2004 (lighting, landscaping, board)...	(\$4,658)
- Maintenance (sprinkler repairs, light bulbs).....	(\$401)
- Lawn Maintenance (May - Oct).....	(\$780)
- Utilities.....	(\$970)
- Administrative (Newsletters, supplies, etc).....	(\$138)
Balance (December 31, 2004)	\$137

**Raley Creek Property Value
Price Per Square Foot**



Note: -This is Informational and is not guaranteed