

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS.
- ALL WALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
- ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITION OR DISCREPENCY WHICH WILL ALTER OR IMPEDE THE DESIGN AS PRESENTED ON THESE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- ANY OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK INVOLVED.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DAMAGE, INCLUDING STRUCTURAL FAILURE DUE TO CONTRACTOR DEFICIENCIES WITH MATERIALS AND METHODS OR ERRORS WITH COORDINATION OF THE PLANS AND SPECIFICATIONS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE PLACEMENT OF BUILDING IN CONFORMANCE WITH SETBACKS, EASEMENTS, COVENANTS, OR OTHER RESTRAINTS.
- GRADES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO START OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM COORDINATION WITH STATE AND LOCAL AUTHORITIES AND UTILITIES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY TOILET FACILITIES THROUGHOUT CONSTRUCTION. CHEMICAL TOILETS SHALL BE OF AN APPROVED TYPE, AND SHALL BE SERVICED REGULARLY TO PREVENT CONTAMINATION OF THE AREA.
- LANDSCAPING DESIGN AND DETAILS BY OTHERS.
- CONTRACTOR SHALL REMOVE EXISTING INTERFERENCES (FENCE & SHADE STRUCTURES) AS REQ'D FOR CONSTRUCTION AND RE-INSTALL MODIFIED AS NECESSARY TO FIT.
- CONTRACTOR LABOR SHALL ASSIST HOMEOWNER WITH MOVING HOUSE CONTENTS FOR WORK AND RESET.

ADDITION & ALTERATION

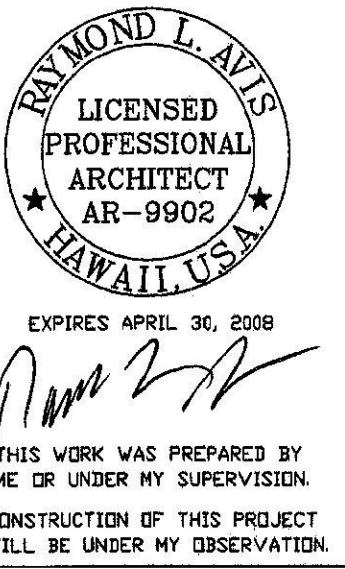
DAVID & FRANCES DAWLEY

94-1045 PALAIKI STREET WAIPAHAU, HAWAII 96797

T.M.K. 9-4-121:042

DRAWING LIST	
SHEET NUMBER	SHEET NAME
A-0.1	TITLE SHEET
A-0.2	SITE PLAN
A-0.3	PERSPECTIVE
A-1.1	FIRST LEVEL FLOOR PLAN
A-1.2	SECOND LEVEL FLOOR PLAN
A-3.1	EXTERIOR ELEVATIONS
A-3.2	EXTERIOR ELEVATIONS
A-4.1	BUILDING SECTIONS
A-4.2	BUILDING SECTIONS
S-1	FOUNDATION PLAN
S-2	FRAMING PLANS

05/26/09	DATE
1	REV.
RELEASE TO BUILDING DEPARTMENT	DESCRIPTION



AVIS ASSOCIATES
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ABBREVIATIONS

(E) EXISTING	E EAST	HTG HEATING	REINF REINFORCED
AB ANCHOR BOLT	EA EACH	HDWD HARDWOOD	REQD REQUIRED
ABV ABOVE	EC EVAPORATIVE COOLER	HVAC HEATING VENTILATION & AIR CONDITIONING	RESIL RESILIENT
A/C AIR CONDITIONING	EJ EXPANSION JOINT		RM ROOM
AC ASPHALT CONCRETE	ELEC ELECTRICAL	ID INSIDE DIAMETER	RHB RECESSED HOSE BIB
AD AREA DRAIN	EL ELEVATION	IE INVERT ELEVATION	RO ROUGH OPENING
ACOUS ACOUSTICAL	EQ EQUAL	IN INCH	ROW RIGHT OF WAY
AFF ABOVE FINISH FLOOR	EP ELECTRICAL PANEL	EQ EQUIPMENT	RS RESAWN
ALUM ALUMINUM	EQ EQUIPMENT	INSUL INSULATION	S SOUTH
APPROX APPROXIMATE	EW EACH WAY	INT INTERIOR	SAT SUSPENDED ACOUSTICAL
ARCH ARCHITECTURAL	EXT EXTERIOR	JT JOINT	SC SOLID CORE
BD BOARD	FDN FOUNDATION	LAM LAMINATED	SCHED SCHEDULE
BLDG BUILDING	FD FLOOR DRAIN	LAV LAVATORY	SECT SECTION
BLK BLOCK	FF FINISHED FLOOR	LT LIGHT	SHT SHEET
BLKG BLOCKING	FIN FINISH	MAX MAXIMUM	SHTG SHEATHING
BM BEAM	FIXT FIXTURE	MB MACHINE BOLT	SIM SIMILAR
BN BOUNDARY NAILING	FLR FLOOR	MECH MECHANICAL	SPEC SPECIFICATION
BOT BOTTOM	FL FLOW LINE	MET METAL	SQ SQUARE
BTWN BETWEEN	FLUR FLOURESCENT	MFR MANUFACTURER	SS STAINLESS STEEL
C CAMBER	FH FIRE HYDRANT	MH MANHOLE	SSK SERVICE SINK
CATV CABLE TELEVISION	FOM FACE OF MASONRY	MISC MISCELLANEOUS	STD STANDARD
CB CATCH BASIN	FOS FACE OF STUD	MO MASONRY OPENING	STL STEEL
CEM CEMENT	F/S FINISH SURFACE	MTD MOUNTED	STOR STORAGE
CER CERAMIC	FS FLOOR SINK	MUL MULLION	STRUC STRUCTURAL
CHB CONCEALED HOSE BIB	FT FOOT/FEET	N NORTH	SOV SHUT OFF VALVE
CI CAST IRON	FTG FOOTING	NIC NOT IN CONTRACT	SYM SYMMETRICAL
CJ CEILING JOIST	FURR FURRING	NO NUMBER	TB TOP OF BEAM
CJ CONTROL JOINT	FUT FUTURE	NOM NOMINAL	TC TOP OF CURB
CLG CEILING		NTS NOT TO SCALE	TD TOP OF DECK
CLR CLEAR		OA OVERALL	TEL TELEPHONE
CMU CONCRETE MASONRY UNIT		OC ON CENTER	T&G TONGUE AND GROOVE
C/O CLEANOUT		OD OUTSIDE DIAMETER	THK THICK
CO CONDUIT ONLY	GA GAUGE	OFD OVERFLOW DRAIN	TJ TRUSS JOIST
COL COLUMN	GALV GALVANIZED	OPG OPENING	TP TOP OF PARAPET
CONC CONCRETE	GC GENERAL CONTRACTOR	OPP OPPOSITE	TS TOP OF SHEATHING
CONN CONNECTION	GI GALVANIZED IRON	PARTN PARTITION	TW TOP OF WALL
CONSTR CONSTRUCTION	GL GLASS	PL PLASTER	TYP TYPICAL
CONT CONTINUOUS	GLB GLUE LAMINATED BEAM	PLBG PLUMBING	UBC UNIFORM BUILDING CODE
CONTR CONTRACTOR	GND GROUND	PLYWD PLYWOOD	UON UNLESS OTHERWISE NOTED
CTSK COUNTERSUNK	GR GRADE	POC POINT OF CONNECTION	VERT VERTICAL
CY CUBIC YARD	GYP GYPSUM	PR PAIR	VTR VENT THROUGH ROOF
DBL DOUBLE		PT PRESSURE TREATED	W WEST
DEPT DEPARTMENT		QT QUARRY TILE	W/ WITH
DET DETAIL	HB HOSE BIB		WC WATER CLOSET
D/F DOUGLAS FIR	HC HOLLOW CORE		WD WOOD
DF DRINKING FOUNTAIN	HDR HEADER	R RADIUS	WH WATER HEATER
DIA DIAMETER	HDW HARDWARE	RD ROOF DRAIN	W/O WITHOUT
DIM DIMENSION	HT HEIGHT	RDWD REDWOOD	WPJ WEAKENED PLAN JOINT
DN DOWN	HM HOLLOW METAL	REF REFERENCE	WR WATER RESISTANT
DR DOOR	HORIZ HORIZONTAL	REFR REFRIGERATOR	WWF WELDED WIRE FABRIC
DS DOWNSPOUT	HP HIGH POINT		
DWG DRAWING			

PROJECT SUMMARY

BRIEF DESCRIPTION:
 ADDED NEW FAMILY ROOM AND DINING ROOM EXTENSION TO THE FIRST FLOOR. EXTENDED BEDROOM 2 ADDING DRESSING AREA AND SITTING AREA. CONVERTED BEDROOM 3 TO A WALK IN CLOSET.

BUILDING CODES
 INTERNATIOL BUILDING/RESIDENTIAL CODE 2003
 UNIFORM PLUMBING CODE 1997
 NATIONAL ELECTRICAL CODE 2000

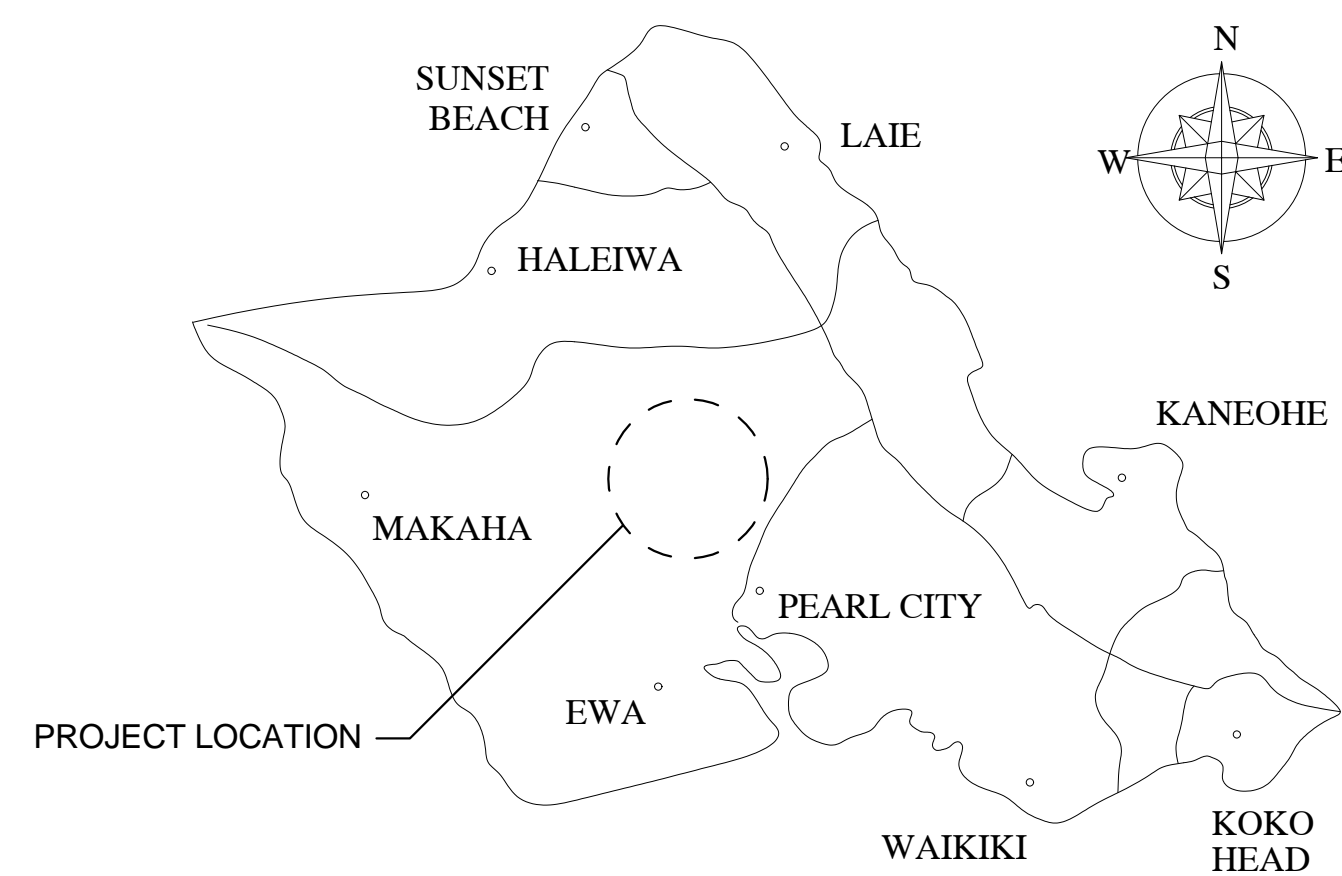
LOT AREA, SQ. FT.	3,760 SQ. FT.
LOT AREA, ACRES	0.086 ACRES
FLOOD ZONE	D
HEIGHT LIMIT	25 FEET, PER LUO TABLE 21-3.2
HISTORIC SITE REGISTER	NO
LOT RESTRICTIONS	NONE
SMA/SHORELINE	NOT IN SPECIAL MANAGEMENT AREA
SPECIAL DISTRICT	NOT IN SPECIAL DISTRICT
STATE LAND USE	URBAN DISTRICT
STREET SETBACK	10 FEET
ZONING (LUO)	R-5 RESIDENTIAL
SEISMIC USE GROUP	I
SITE CLASS	D
WIND EXPOSURE	B
BASIC WIND SPEED	105 MPH
OCCUPANCY GROUP	R-3
BUILDING TYPE	V-N
MAXIMUM BUILDING AREA	50% OF LOT AREA = 1,880 SQ. FT.
PROPOSED NEW FIRST FLOOR AREA	400 SQ. FT.
EXISTING FIRST FLOOR AREA	897 SQ. FT.
PROPOSED NEW SECOND FLOOR AREA	378 SQ. FT.
EXISTING SECOND FLOOR AREA	<u>759 SQ. FT.</u>
TOTAL FLOOR AREA	2,434 SQ. FT.

EXISTING GARAGE AREA 2 CARS, 437 SQ. FT.
 REQUIRED PARKING SPACES 2 SPACES UP TO 2,500 S.F.

LOADS:
 LIVE FLOORS 40 PSF
 LIVE STAIRS 100 PSF
 LIVE DECK 60 PSF
 DEAD 10 PSF

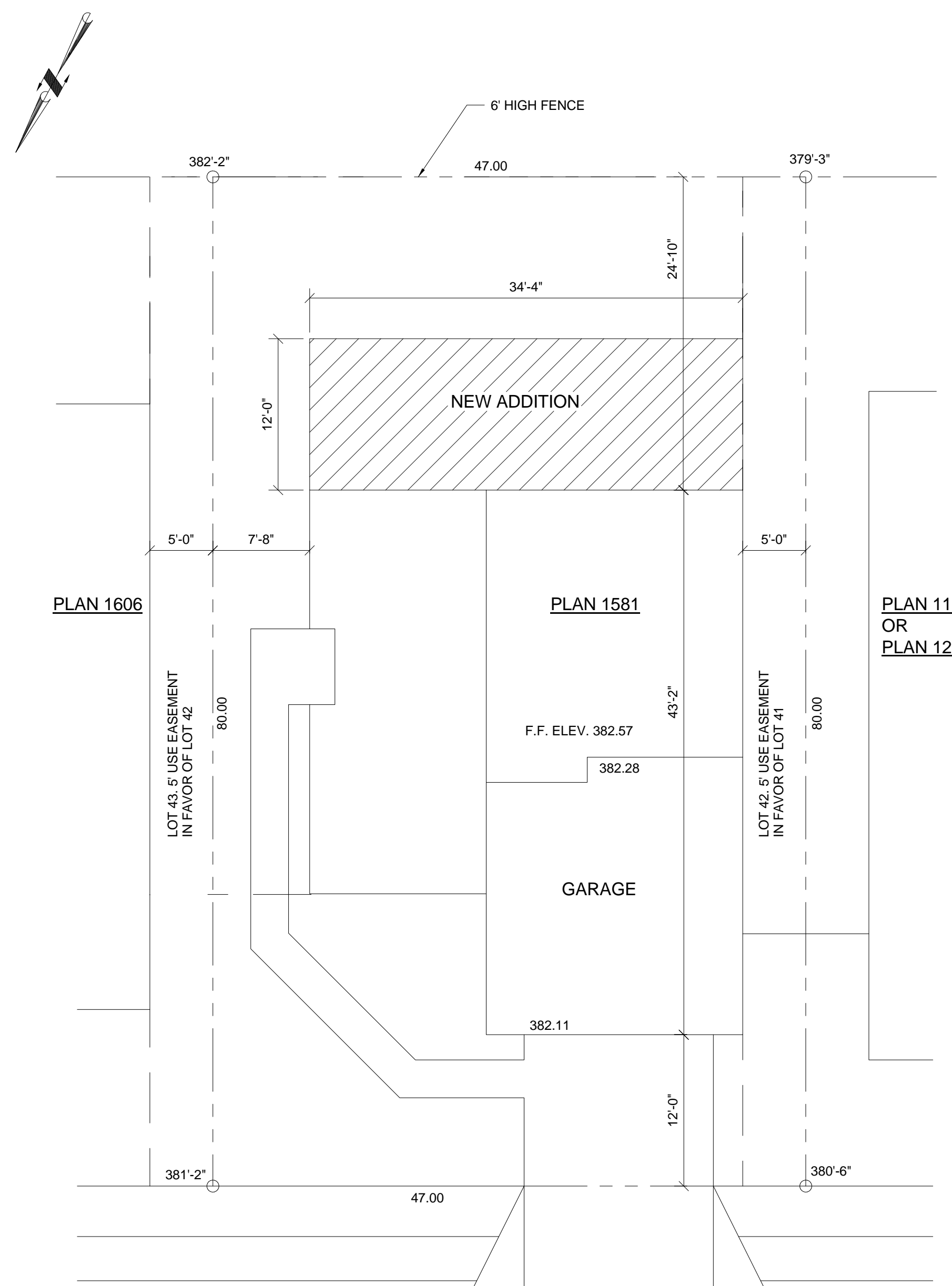
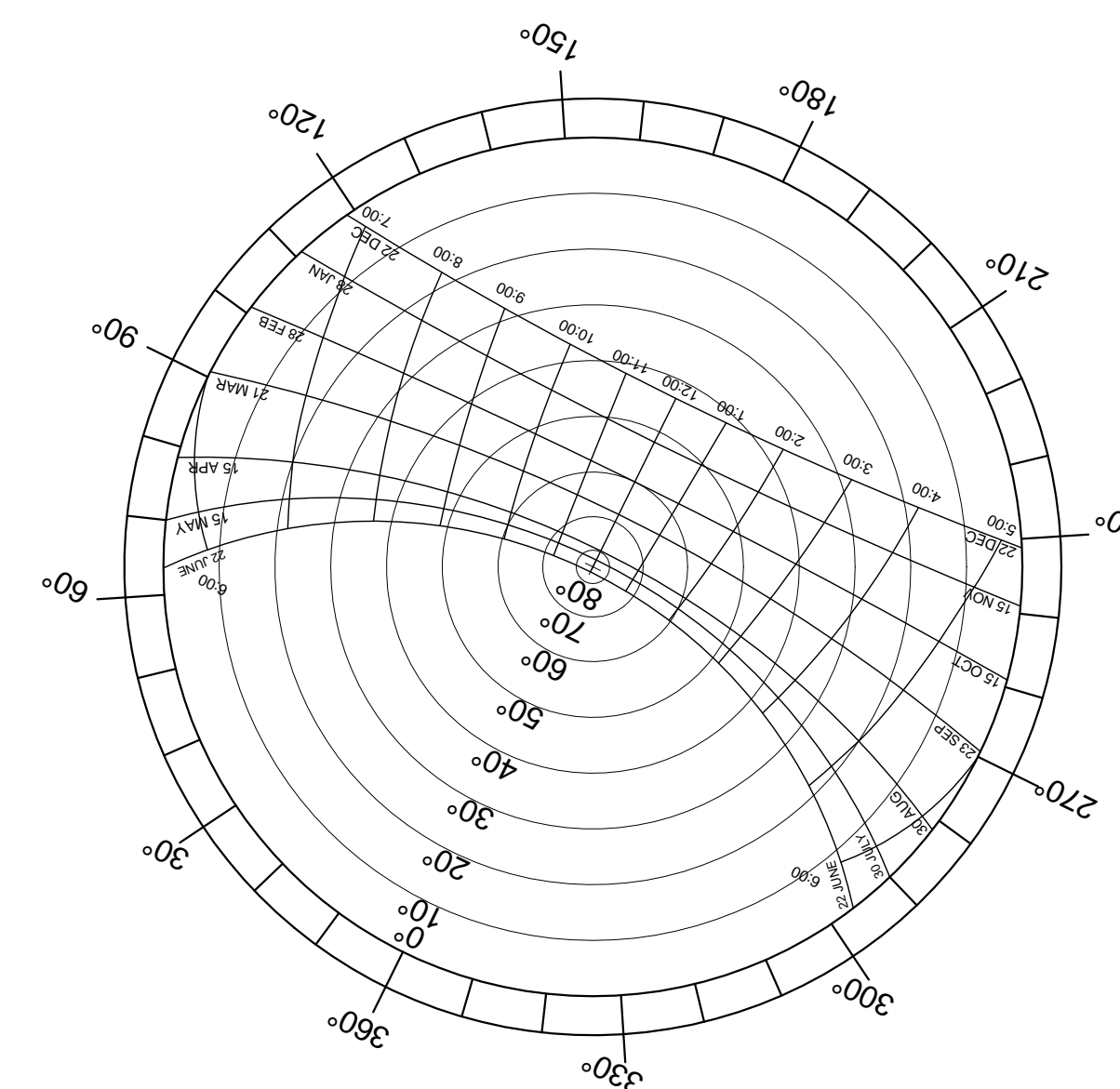
DAWLEY RESIDENCE
94-1045 PALAIKI STREET
WAIPAHAU, OAHU, HAWAII
T.M.K. 9-4-121:042
 SHEET TITLE: **TITLE SHEET**

PROJECT NO. 200903
DATE: 5/26/2009
DRAWN BY: RLA
SCALE:
SHEET NO.: A-0.1



ISLAND OF OAHU

20° NORTH LATITUDE
SUN PATH DIAGRAM



① SITE PLAN
1/8" = 1'-0"

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09

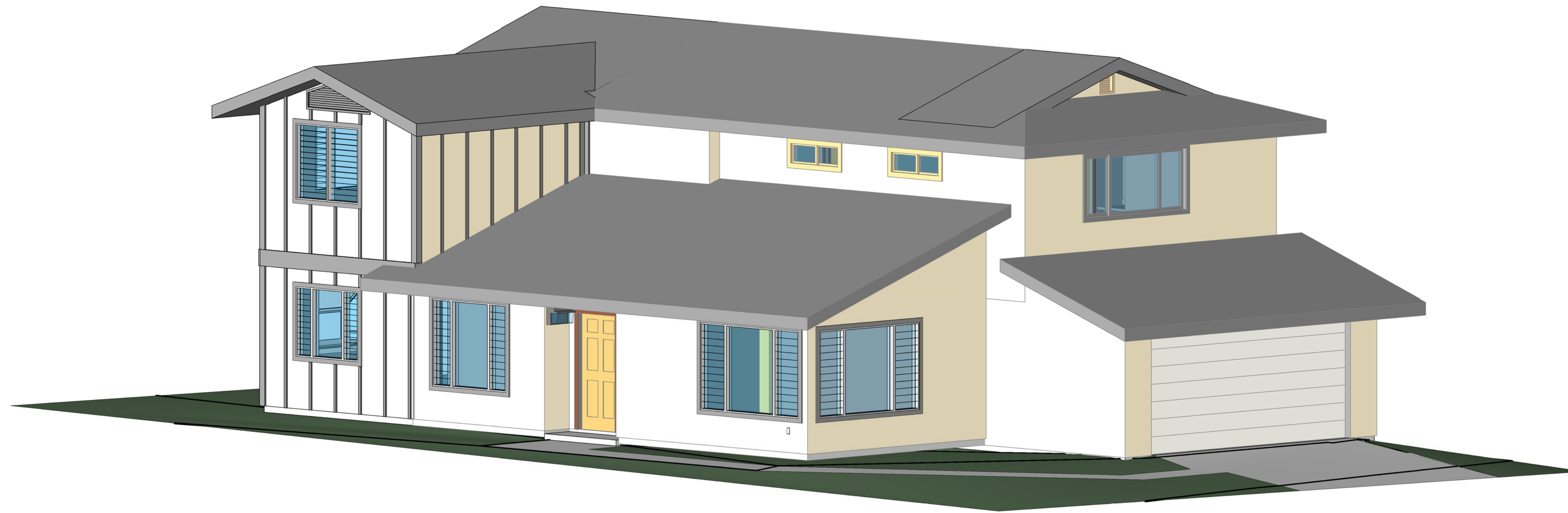
EXPIRES APRIL 30, 2008
 THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION.
 CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

AVIS ASSOCIATES
 ARCHITECTURE & PLANNING
 66-449 WAIALUA BEACH ROAD
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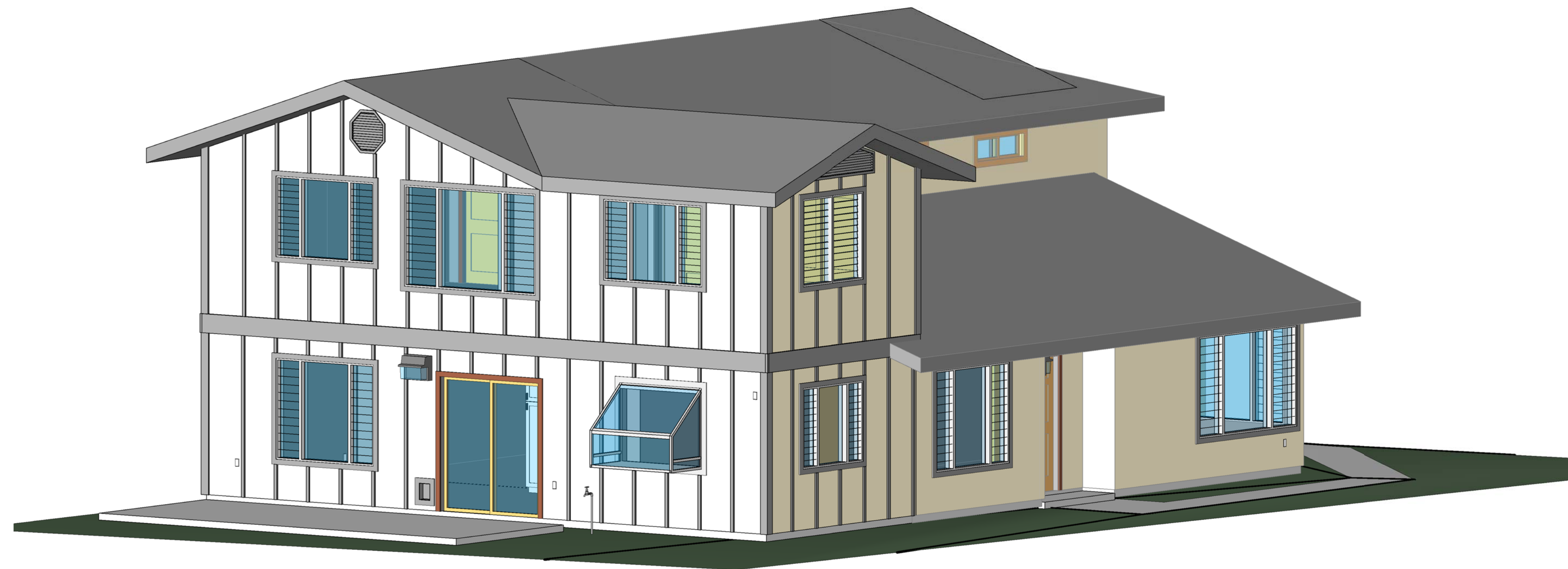
DAWLEY RESIDENCE
 94-1045 PALAI STREET
 WAIPAHU, OAHU, HAWAII
 T.M.K. 9-4-121-042
 SHEET TITLE: **SITE PLAN**

PROJECT NO.: 200903
 DATE: 5/26/2009
 DRAWN BY: RLA
 SCALE: 1/8" = 1'-0"
 SHEET NO.:

A-0.2




① PERSPECTIVE FRONT



② PERSPECTIVE REAR

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09


 EXPIRES APRIL 30, 2009
Raymond L. Avis
 THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

AVIS ASSOCIATES
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DAWLEY RESIDENCE
 94-1045 PALAI STREET
 WAIPAHU, OAHU, HAWAII
 T.M.K. 9-4-121-042
 SHEET TITLE: PERSPECTIVE

PROJECT NO.: 200903
 DATE: 5/26/2009
 DRAWN BY: Author
 SCALE:
 SHEET NO.:

A-0.3

BUILDING CODE REQUIREMENTS

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, 2003 EDITION, WITH THE LOCAL HONOLULU COUNTY AMENDMENTS AND OTHER APPLICABLE CODES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH CHAPTER 23 OF THE I.B.C 2003 EDITION FOR ALL FRAMING, EXECUTION, AND FOR VERIFICATION OF ALL LOCAL DESIGN LOADS.
3. PROVIDE ATTIC VENTILATION AS REQUIRED BY LOCAL BUILDING CODE.
4. ALL EGRESS WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT., MINIMUM CLEAR DIMENSION OF 20" WIDTH BY 24" HEIGHT AND A SILL HEIGHT OF NOT OVER 44" ABOVE THE FLOOR IS REQUIRED. OPENABLE WINDOWS ABOVE THE FIRST FLOOR WHICH ARE LESS THAN 42" ABOVE THE FLOOR ARE TO BE PROVIDED WITH GUARDRAILS OR SCREENS.
5. CLEAR WIDTH OF ALL WATER CLOSETS SHALL BE 30" MIN.
6. ALL BATHROOMS AND TOILET COMPARTMENTS WITHOUT WINDOWS SHALL HAVE MECHANICAL VENTILATION CAPABLE OF PROVIDING 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION PER THE 2003 INTERNATIONAL RESIDENTIAL CODE R303.3
7. WATERPROOFING AND DRAINING OF WALLS BEHIND PLANTERS AND RETAINING WALLS SHALL BE PER SECTION 1807 OF THE 2003 INTERNATIONAL BUILDING CODE.

SECTION R313 / SMOKE ALARMS

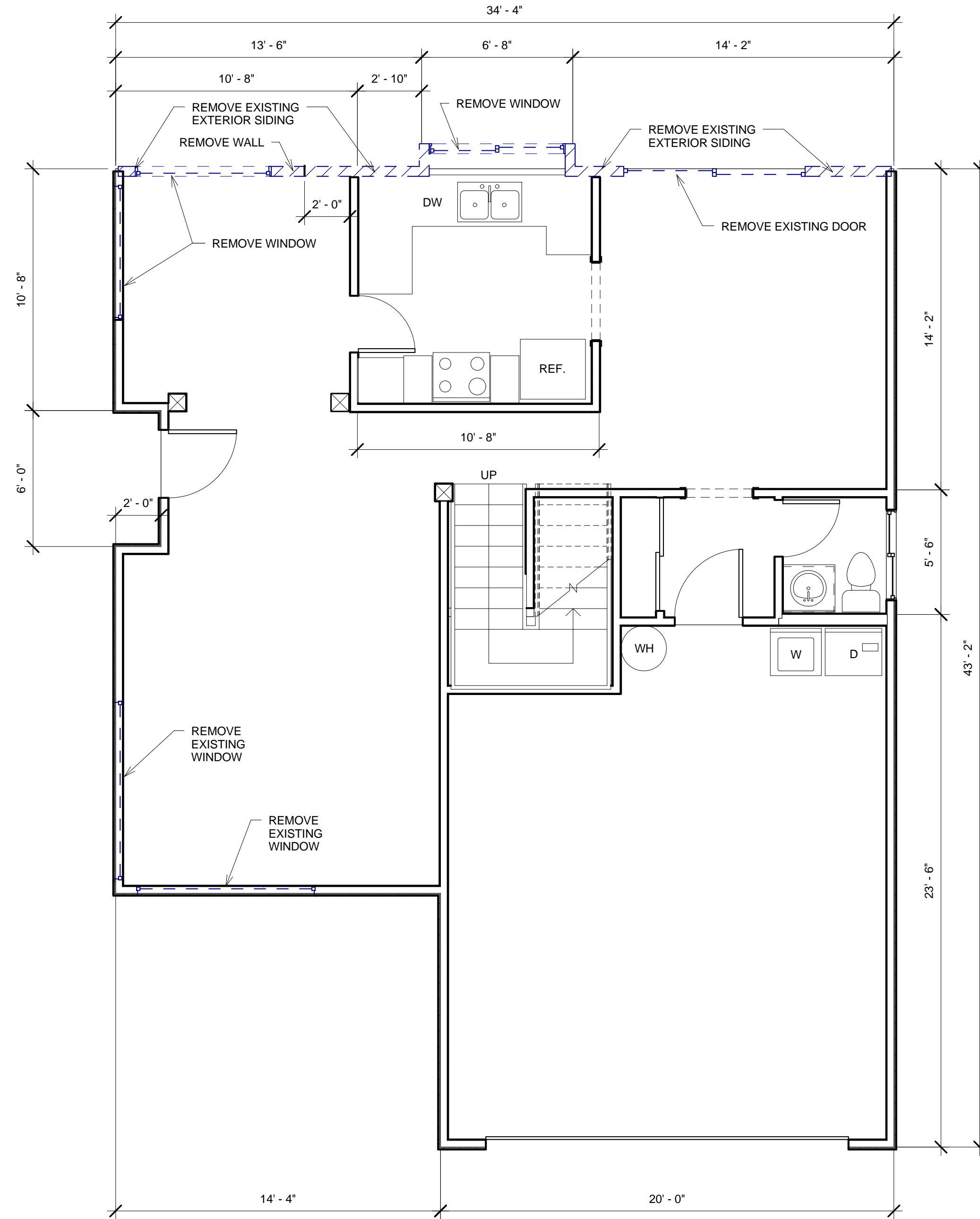
THE ALARM DEVICES SHALL BE INTERCONNECTED IN A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED.

FLOORING NOTES

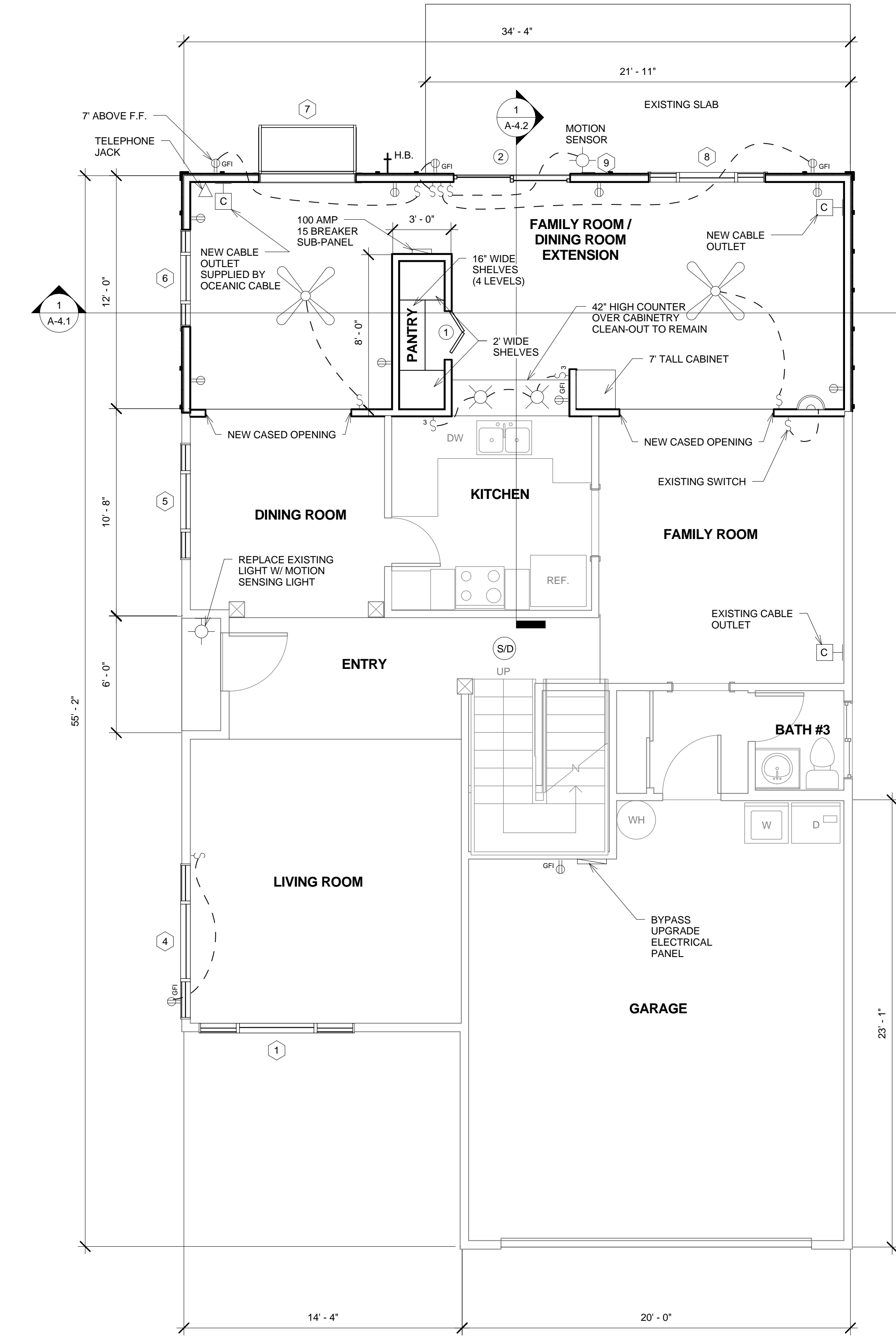
1. OWNER PURCHASED ENGINEER HARDWOOD FLOAT FLOORING WILL BE INSTALLED BY CONTRACTOR.
2. FIRST LEVEL SLAB INSTALLATION WILL USE PAINT-ON ELASTOMERIC MOISTURE BARRIER BETWEEN SLAB AND HARDWOOD FLOOR.
3. SECOND LEVEL INSTALLATION WILL USE ACCOUSTICAL UNDERLAYMENT MATTING.
4. WOOD FLOOR BASE MOLDINGS (MIN 3 1/4") SHALL BE INSTALLED IN AREAS WITH NEW HARDWOOD FLOORING. CONFIRM MOLDING STYLE WITH OWNER.

ELECTRICAL NOTES

1. EXISTING EXTERIOR ELECTRICAL PORCH LIGHT BOX MAY BE USED FOR NEW WALL SCONE LIGHT.
2. REWIRE EXISTING FAMILY ROOM CEILING FAN FROM REOSTAT DIMMER AND PUT THE NEW WALL SCONE ON THAT DIMMER. PUT THE CEILING FAN ON AN ON/OFF POLE SWITCH.



① DEMOLITION FIRST LEVEL
1/4" = 1'-0"



② FIRST LEVEL
1/4" = 1'-0"

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09

REYMOND L. AVIS
LICENSED PROFESSIONAL ARCHITECT
AR-9902
HAWAII, USA
EXPIRES APRIL 30, 2008
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

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DAWLEY RESIDENCE
94-1045 PALAII STREET
WAIPAHU, OAHU, HAWAII
T.M.K. 9-4-121-042
SHEET TITLE: **FIRST LEVEL FLOOR PLAN**

PROJECT NO. 200903
DATE: 5/26/2009
DRAWN BY: RLA
SCALE: 1/4" = 1'-0"
SHEET NO.:

A-1.1

DOOR SCHEDULE					
DOOR NUMBER	DESCRIPTION	Level	Width	Height	Finish
					COMMENTS
1	Bifold-2 Panel	FIRST LEVEL	2' - 6"	6' - 8"	LOUVERED 1 1/4" BLADES
2	Sliding-2 panel	FIRST LEVEL	6' - 0"	6' - 8"	MILGAURD TUSCANY, TAN, SOLAR BRONZE TINT, LOW-E
3	Double-Swing	SECOND LEVEL	3' - 0"	6' - 8"	FULL LOUVERED 1 1/4" BLADES
4	SLIDING WALL HUNG MIRRORED 2	SECOND LEVEL	8' - 0"	8' - 0"	MIRROR TO DRESSING ROOM SIDE, VENEER BACKSIDE
5	SLIDING WALL HUNG MIRRORED 2	SECOND LEVEL	8' - 0"	8' - 0"	MIRROR TO DRESSING ROOM SIDE, VENEER BACKSIDE
6	Sliding-Closet	SECOND LEVEL	5' - 0"	7' - 0"	FULL LOUVERED, 1 1/4" BLADES
7	Sliding-Closet	SECOND LEVEL	5' - 0"	7' - 0"	FULL LOUVERED, 1 1/4" BLADES
8	SLIDING HATCH	SECOND LEVEL	3' - 0"	3' - 0"	

WINDOW SCHEDULE								
Mark	Description	Level	Rough Opening		HEAD HEIGHT	Material	Finish	COMMENTS
			WIDTH	HEIGHT				
1	FIXED WITH JALOSIE EA. SIDE	FIRST LEVEL	8' - 0"	5' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
4	FIXED WITH JALOSIE EA. SIDE	FIRST LEVEL	8' - 0"	5' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
5	FIXED WITH JALOSIE EA. SIDE	FIRST LEVEL	6' - 0"	5' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
6	FIXED WITH JALOSIE EA. SIDE	FIRST LEVEL	5' - 0"	4' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
7	GARDEN BOX	FIRST LEVEL	5' - 0"	4' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
8	FIXED WITH JALOSIE EA. SIDE	FIRST LEVEL	6' - 0"	5' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
9	PET DOOR	FIRST LEVEL	0' - 8"	0' - 10"	1' - 4"			
11	DOUBLE JALOSIE	SECOND LEVEL	5' - 0"	4' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
12	FIXED WITH JALOSIE EA. SIDE	SECOND LEVEL	6' - 0"	4' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
13	FIXED WITH JALOSIE EA. SIDE	SECOND LEVEL	6' - 0"	4' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
20	FIXED WITH JALOSIE EA. SIDE	SECOND LEVEL	8' - 0"	5' - 0"	7' - 0"	VINYL	ALMOND/TAN	STAINLESS STEEL HARDWARE
26	VENT, GABLE	SECOND LEVEL	5' - 0"	1' - 6"	9' - 9"	VINYL		

DOOR AND WINDOW NOTES:

1. EXTERIOR SLIDING DOOR SHALL HAVE TWO OPPOSITE LATCHING HOOKS.
2. ALL GLAZING SHALL BE SOLAR BRONZE TINTED LOW-E.
3. JALOUSIE LOUVERS SHALL BE CLEAR 6" SLATS W/ SOLAR BRONZE TINT.
4. INSTALL HEAVY DUTY PET SCREENS ON ALL NEW WINDOWS AND SLIDING DOORS.

OWNER FURNISHED MATERIALS

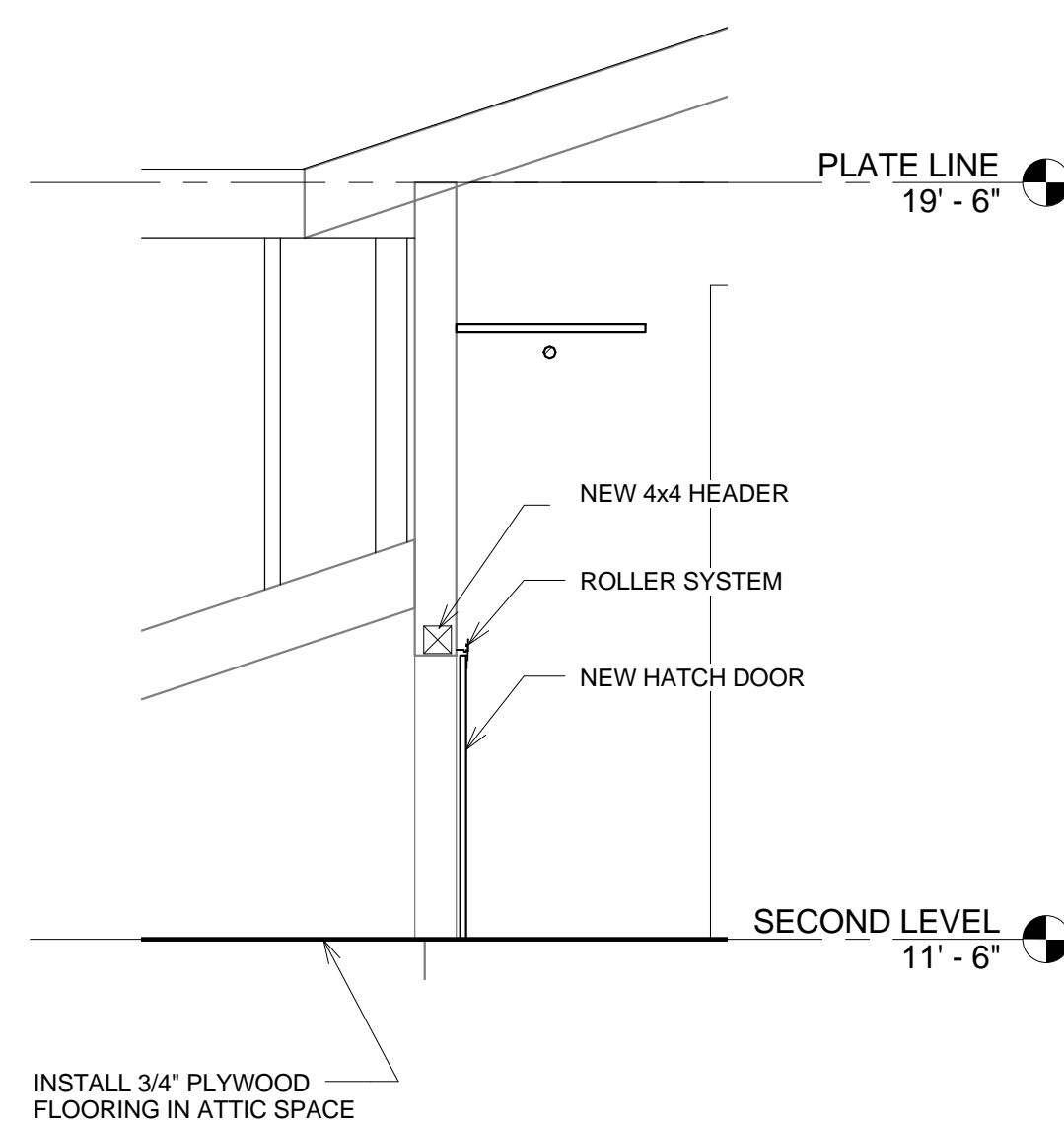
1. 5 CEILING FANS
2. 2 EXTERIOR LIGHTS
3. PET DOOR
4. 2 DROP LIGHTS

OWNER PURCHASED MATERIALS

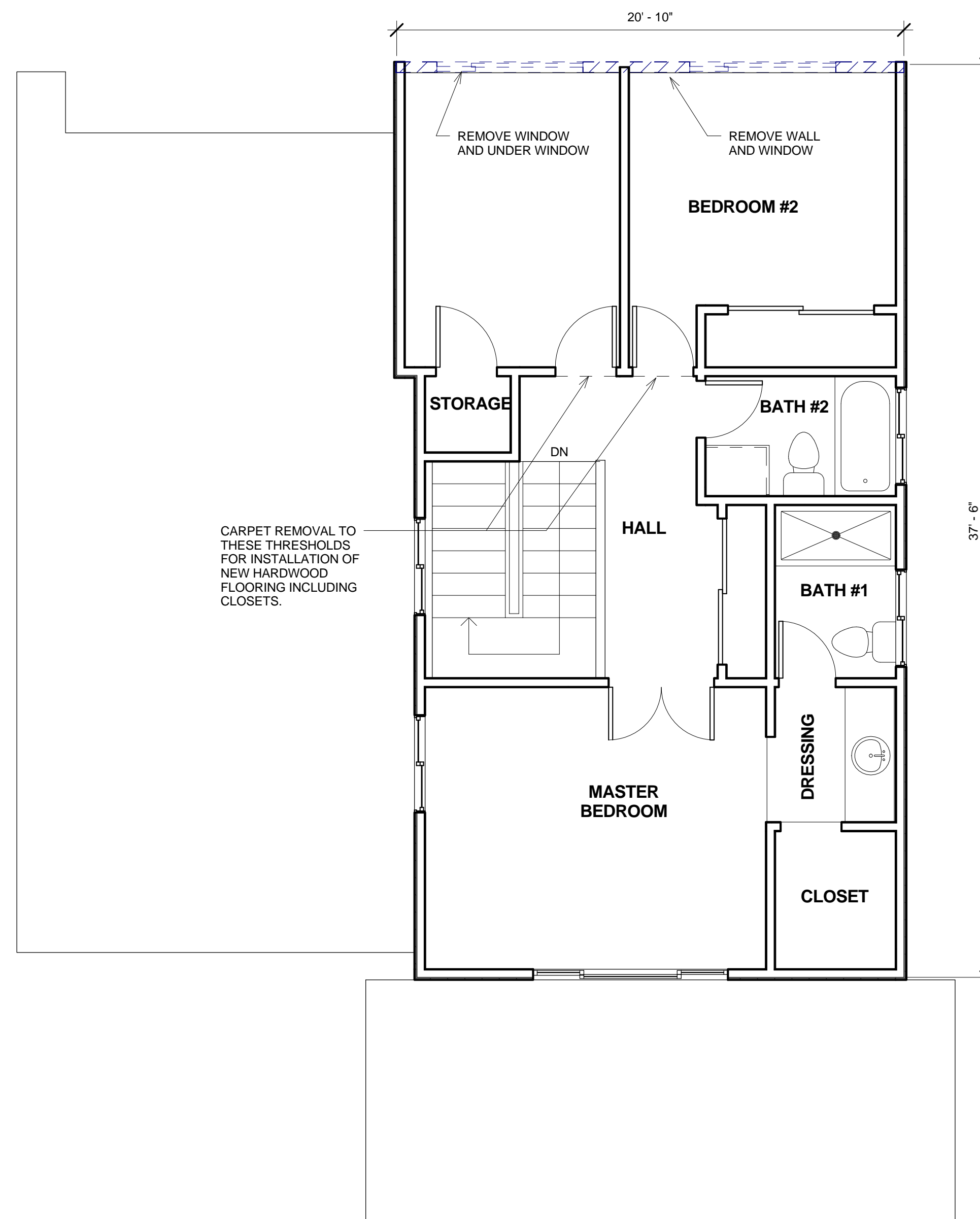
FLOORING: CONTRACTOR WILL ESTIMATE AND ORDER ENGINEERED HARDWOOD FLOORING TO BE SELECTED BY OWNER. CONTRACTOR ESTIMATE AND ORDER TO BE PURCHASED AND PAID FOR BY OWNER WILL INCLUDE: PLANKING, TRANSITION PIECES, UNDERLAYMENT MATTING AND ADHESIVE. CONTRACTOR BID QUOTE IS FOR FLOOR INSTALLATION ONLY, NOT MATERIALS.

OWNER CONTRACTS

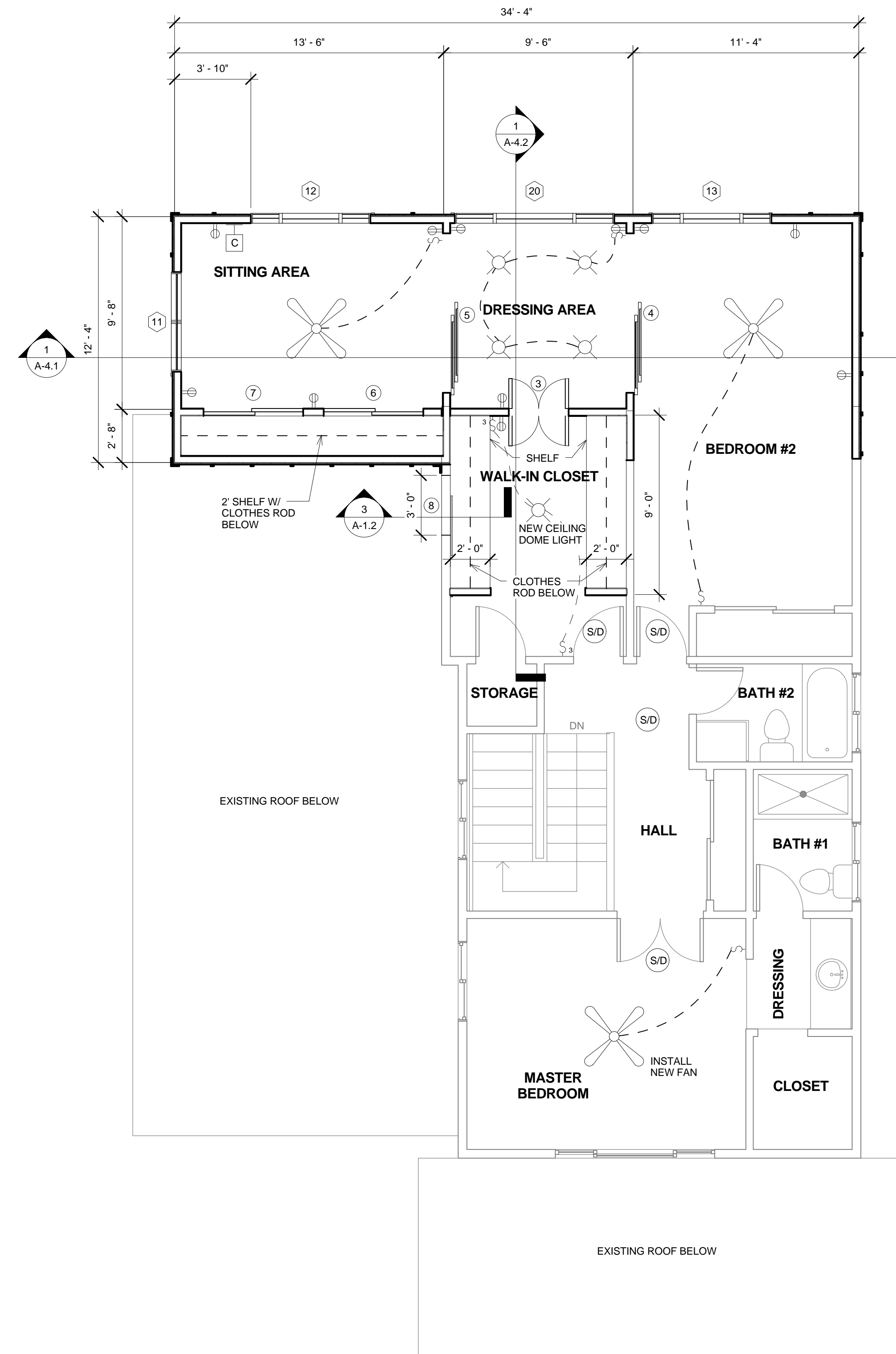
1. OWNER WILL CONTRACT SEPARATELY FOR INTERIOR AND EXTERIOR PAINTING. PAINTING SCHEDULING TO BE COORDINATED BY CONTRACTOR.
2. OWNER WILL CONTRACT FOR TERMIMESH INSTALLATION AND SOIL TREATMENT. CONTRACTOR WILL COORDINATE SCHEDULING



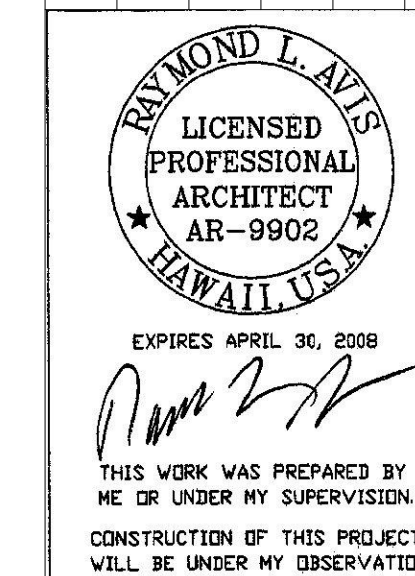
3 ATTIC HATCH DOOR SECTION
1/2" = 1'-0"



2 DEMOLITION SECOND LEVEL
1/4" = 1'-0"



1 SECOND LEVEL
1/4" = 1'-0"



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DAWLEY RESIDENCE
94-1045 PALAI STREET
WAIPAHU, OAHU, HAWAII
T.M.K. 9-4-121-042
SHEET TITLE: SECOND LEVEL FLOOR PLAN

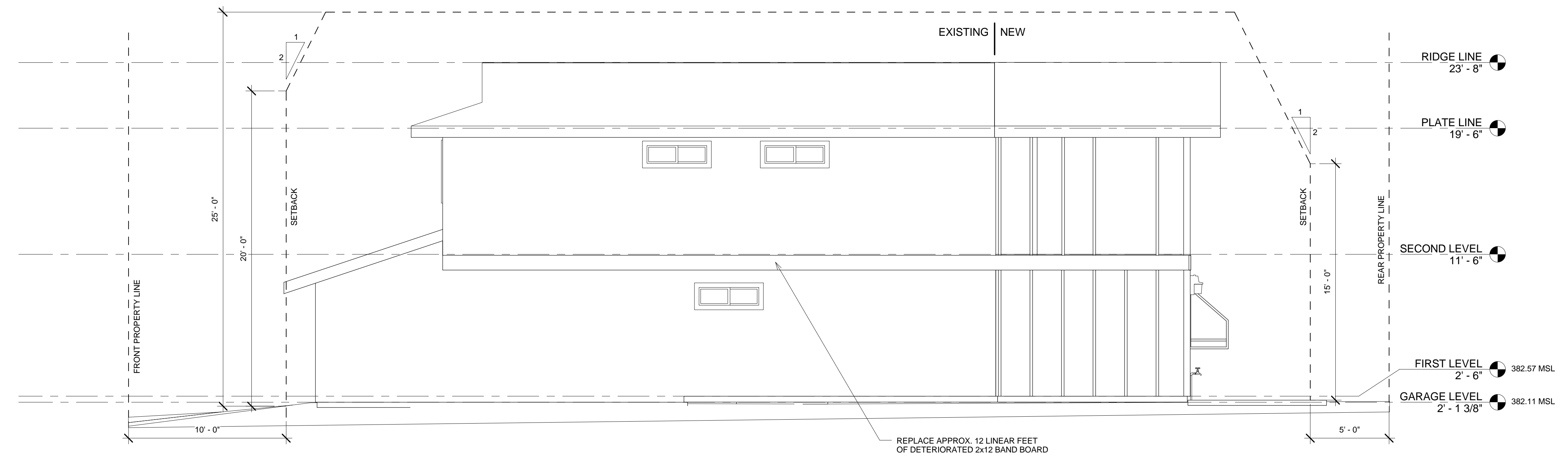
PROJECT NO.: 200903
DATE: 5/26/2009
DRAWN BY: RLA
SCALE: As indicated
SHEET NO.:

A-1.2

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09



① FRONT
1/4" = 1'-0"



② RIGHT
1/4" = 1'-0"

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09

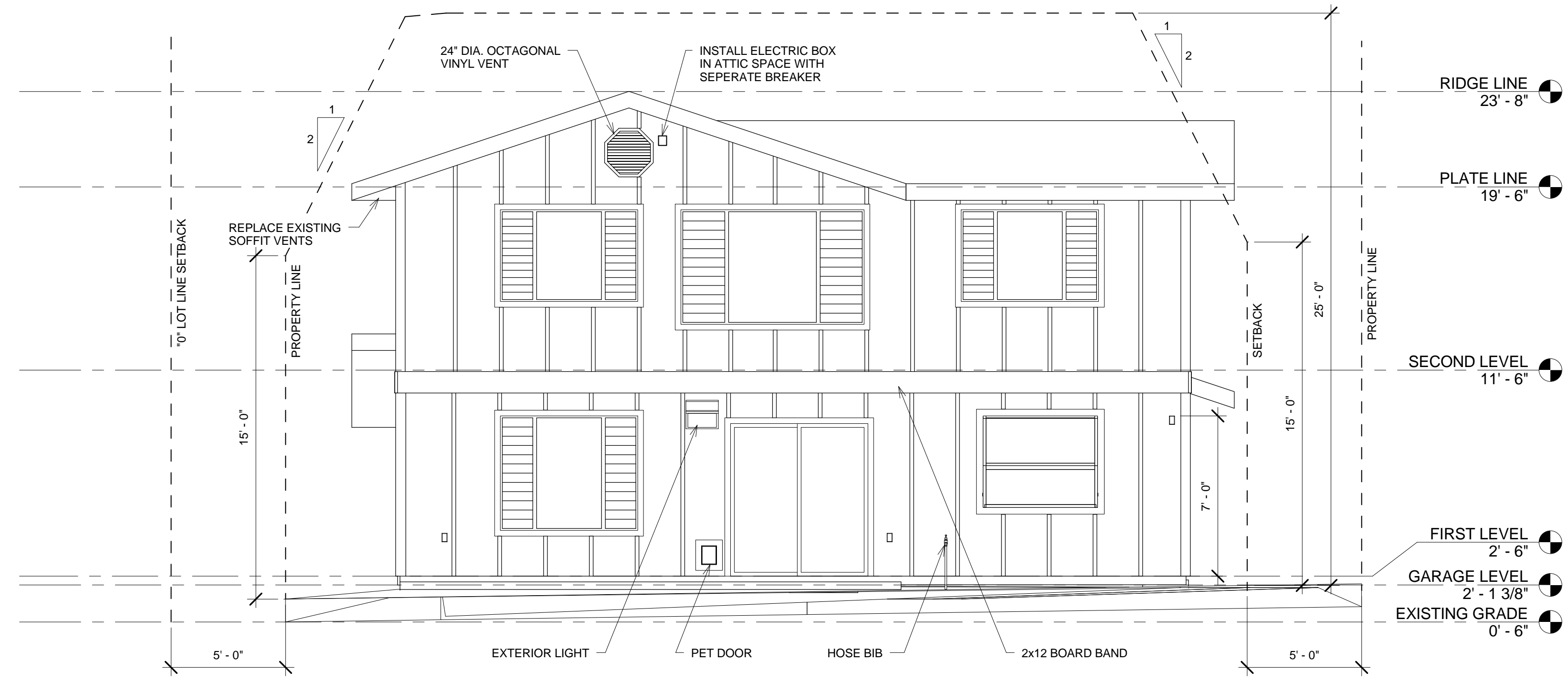
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DAWLEY RESIDENCE
 94-1045 PALAII STREET
 WAIPAHU, OAHU, HAWAII
 T.M.K. 9-4-121-042
 SHEET TITLE: **EXTERIOR ELEVATIONS**

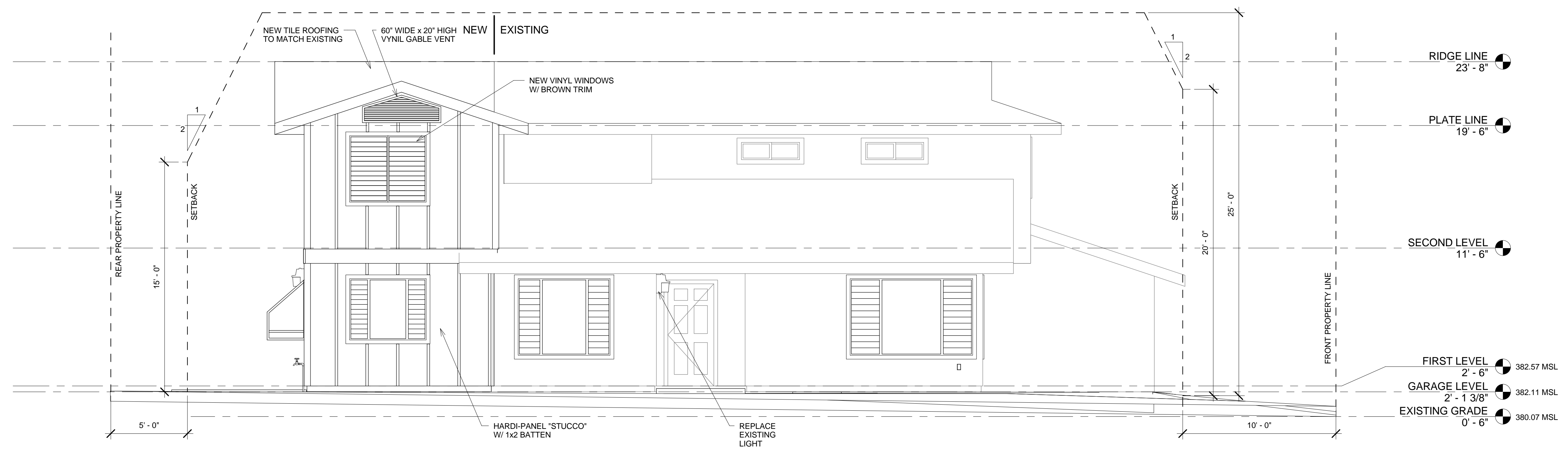
PROJECT NO.: 200903
 DATE: 5/26/2009
 DRAWN BY: RLA
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 SHEET NO.:

A-3.1



1 REAR
1/4" = 1'-0"

- EXTERIOR NOTES:**
1. MDF OR VYNIL EXTERIOR DOOR AND WINDOW TRIM 1x4.
 2. SIDING: HARDIBOARD FIBER CEMENT BOARD, "STUCCO" STYLE ON BACK, 4 SIDES.
 3. EXISTING SOFFIT VENTS TO BE REPLACED WITH VYNIL SOFFIT VENTS.
 4. 1x2 BATTENS ON SHEATHING.
 5. FOIL FACED FOAM BACKING ON ALL NEW WALLS.



2 LEFT
1/4" = 1'-0"

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09

RAYMOND L. AVIS
LICENSED PROFESSIONAL ARCHITECT
AR-9902
HAWAII, USA

EXPIRES APRIL 30, 2009

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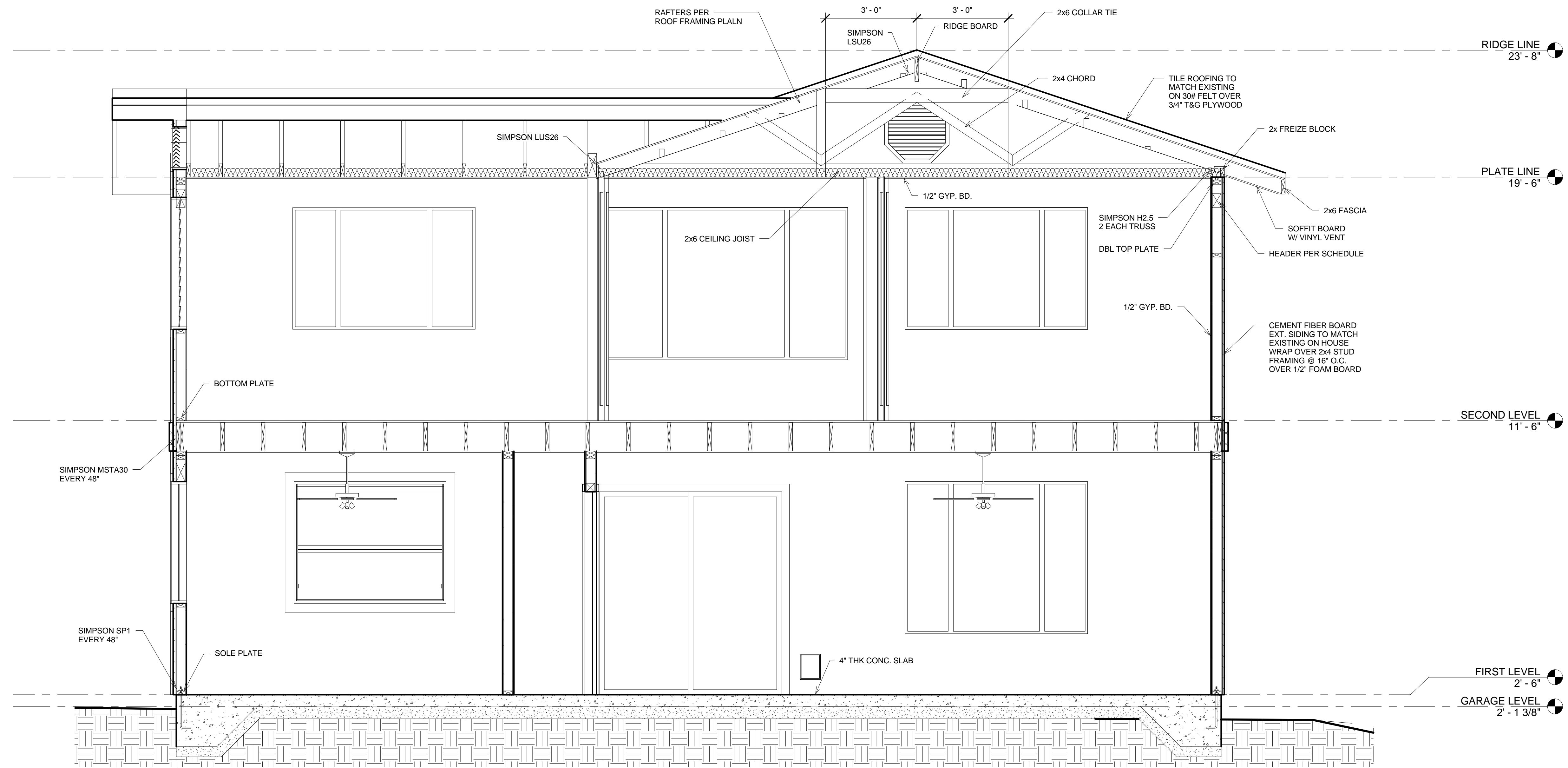
AVIS ASSOCIATES
ARCHITECTURE & PLANNING
66-449 WAIALUA BEACH ROAD
HALEIWA, HAWAII 96712
PHONE: (808) 542-3891 FAX: (808) 356-0555

DAWLEY RESIDENCE
94-1045 PALAI STREET
WAIPAHU, OAHU, HAWAII
T.M.K. 9-4-121-042

SHEET TITLE: EXTERIOR ELEVATIONS

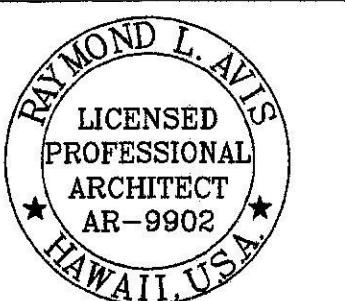
PROJECT NO.: 200903
DATE: 5/26/2009
DRAWN BY: RLA
SCALE: 1/4" = 1'-0"
SHEET NO.:

A-3.2



1 BUILDING SECTION 1
1/2" = 1'-0"

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09



EXPIRES APRIL 30, 2008
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION. CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

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T.M.K. 9-4-121-042
SHEET TITLE: BUILDING SECTIONS

PROJECT NO. 200903
DATE: 5/26/2009
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SCALE: 1/2" = 1'-0"
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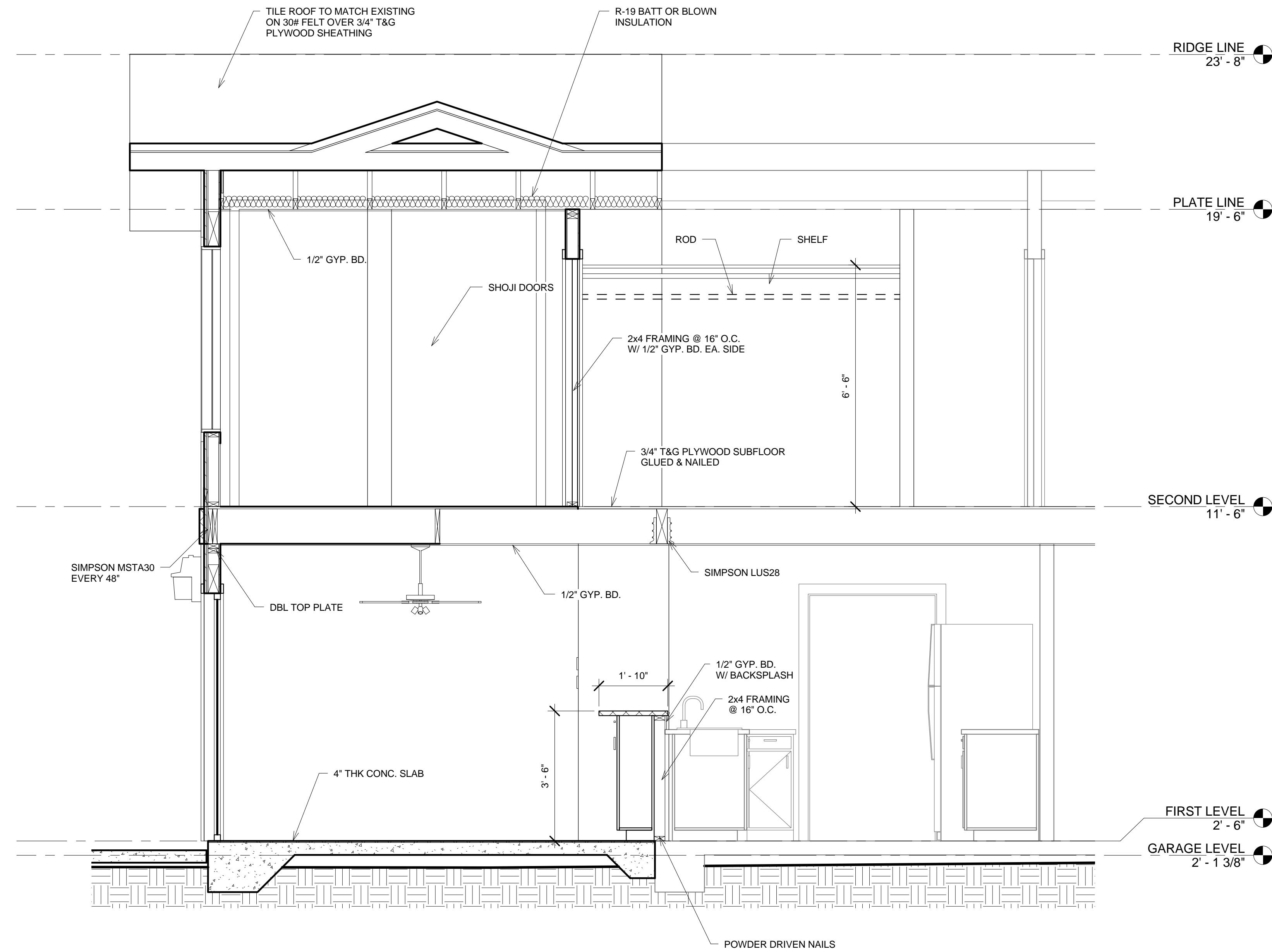
A-4.1

ROOFING NOTES

EXISTING ROOF TILES TO BE MATCHED ARE MONIER DURALITE HERITAGE SHAKE CONCRETE ROOF TILES IN WALNUT COLOR. EXISTING ROOF WAS PREVIOUSLY INSTALLED BY INTERNATIONAL ROOFING. ROOFING TILES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS TROPICAL INSTALLATION GUIDE WITH USE OF STAINLESS STEEL HURRICANE CLIPS FOR EACH TILE. TROPICAL INSTALLATION GUIDE SPECIFIES AN ANTI-PONDING (FOAM) AT FASCIA WITH A MINIMUM OF 1 1/2" OVERHANG OF TILES TO FASCIA. GROUT SHALL MATCH TILE COLOR. COPPER FLASHING SHALL BE USED IN ROOF VALLEYS.

INSULATION NOTES

1. NEW EXTERIOR WALLS SHALL BE INSULATED WITH 1/2" FOAM BOARD BACKING W/ EXTERIOR FOIL BEHIND EXTERIOR SHEATHING.
2. ENTIRE CEILING BOTH NEW AND EXISTING SHALL BE R-19 INSULATED WITH EITHER BLOWN-IN OR BATT INSULATION TO 8".



1 BUILDING SECTION 2
1/2" = 1'-0"

REV.	DESCRIPTION	DATE
1	RELEASE TO BUILDING DEPARTMENT	05/26/09

REYMOND L. AVIS
LICENSED PROFESSIONAL ARCHITECT
AR-9902
HAWAII, USA
EXPIRES APRIL 30, 2008
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DAWLEY RESIDENCE
94-1045 PALAI STREET
WAIPAHU, OAHU, HAWAII
T.M.K. 9-4-121-042
SHEET TITLE: BUILDING SECTIONS

PROJECT NO.: 200903
DATE: 5/26/2009
DRAWN BY: RLA
SCALE: 1/2" = 1'-0"
SHEET NO.:

A-4.2

CONCRETE & REINFORCING

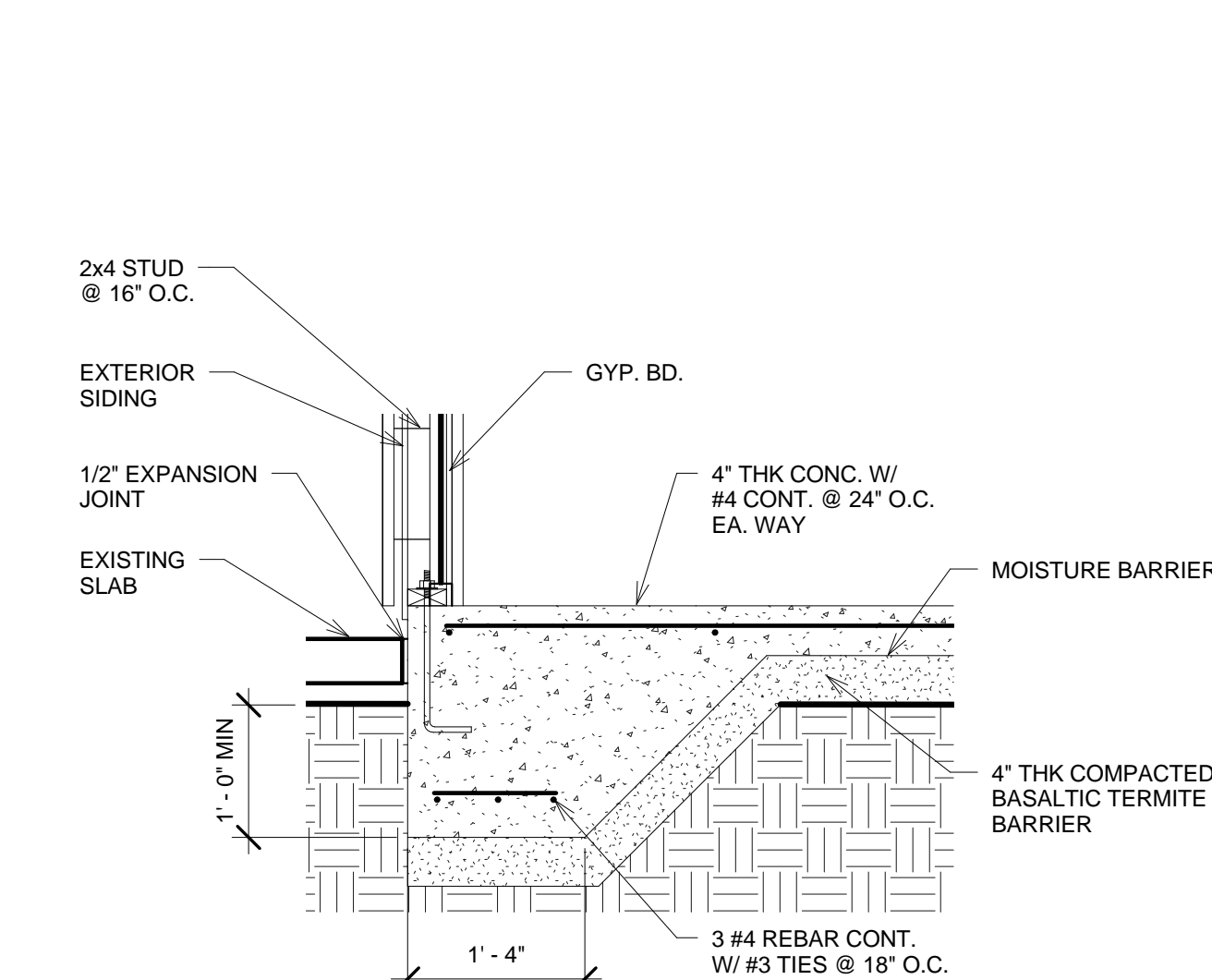
1. NOTIFY ARCHITECT TWO WORKING DAYS PRIOR TO ANY CONCRETE POUR.
2. USE TYPE I OR II CEMENT CONFORMING WITH A.S.T.M. C-150. CONCRETE SHALL HAVE COMPRESSIVE STRENGTHS AT 28 DAYS AS FOLLOWS: SLAB ON GRADE & FOUNDATIONS...3,000 PSI, PROVIDE MINIMUM OF 4.6 SACKS OF CEMENT EACH CUBIC YARD OF CONCRETE.
3. HARDROCK AGGREGATES SHALL CONFORM TO A.S.T.M. C-33 AND SHALL BE ONE INCH MAXIMUM SIZE.
4. MAXIMUM SLUMP FOR ALL CONCRETE SHALL BE 4 INCHES.
5. ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO A.S.T.M. A-615 GRADE 60 UNLESS OTHERWISE NOTED. PLACEMENT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH A.C.I. 315 AND A.C.I. 318. ALL REINFORCING STEEL SHALL BE CLEAN OF RUST, GREASE OR OTHER MATERIALS LIKELY TO IMPAIR BOND. ALL BENDS SHALL BE MADE COLD.
6. ALL REINFORCING STEEL SHALL BE LAPPED 30 BAR DIAMETERS OR EIGHTEEN INCHES, WHICHEVER IS GREATER, AT SPLICES. ALL SPLICES SHALL BE MADE AWAY FROM THE POINT OF MAXIMUM STRESSES.
7. WIRE MESH SHALL CONFORM TO A.S.T.M. A-185, SUPPORTED BY SUITABLE REINFORCING STEEL "CHAIRS", OR PROVIDE MASONRY BLOCKOUTS AS CHAIRS. PROVIDE A MINIMUM EIGHT INCHES LAP.
8. CONCRETE COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:
POURED AGAINST EARTH.....3 INCHES EXPOSED TO EARTH, BUT POURED AGAINST FORMS:
.....2 INCHES
SLABS ON GRADE (WIRE MESH).....1-1/2 INCHES
9. ALL CONCRETE FLOOR SLABS SHALL BE STEEL TROWELED TO AN APPROXIMATELY SMOOTH FINISH, BROUGHT TO TRUE EVEN PLANES AND LEVEL, UNLESS OTHERWISE SPECIFIED. ALL CONCRETE WALKS AND DRIVEWAYS SHALL BE BROOM FINISHED AND PROPERLY PITCHED TO DRAIN.
10. ALL CONCRETE SHALL BE CURED FOR A PERIOD NOT LESS THAN SEVEN DAYS BY THE FOLLOWING METHOD. THE CURING MEDIUM SHALL BE APPLIED SO AS TO PREVENT CHECKING AND CRACKING OF THE SURFACE OF THE CONCRETE IMMEDIATELY AFTER PLACING AND SHALL BE MAINTAINED, SO TO PREVENT DETRIMENTAL LOSS OF WATER FROM THE CONCRETE FOR THE DURATION OF THE ENTIRE CURING PERIOD. PROTECT FRESH CONCRETE FROM HEAVY RAINS, FLOWING WATER, INJURIOUS ACTION OF THE SUN, AND MECHANICAL INJURY.

APPROVED CURING METHOD:

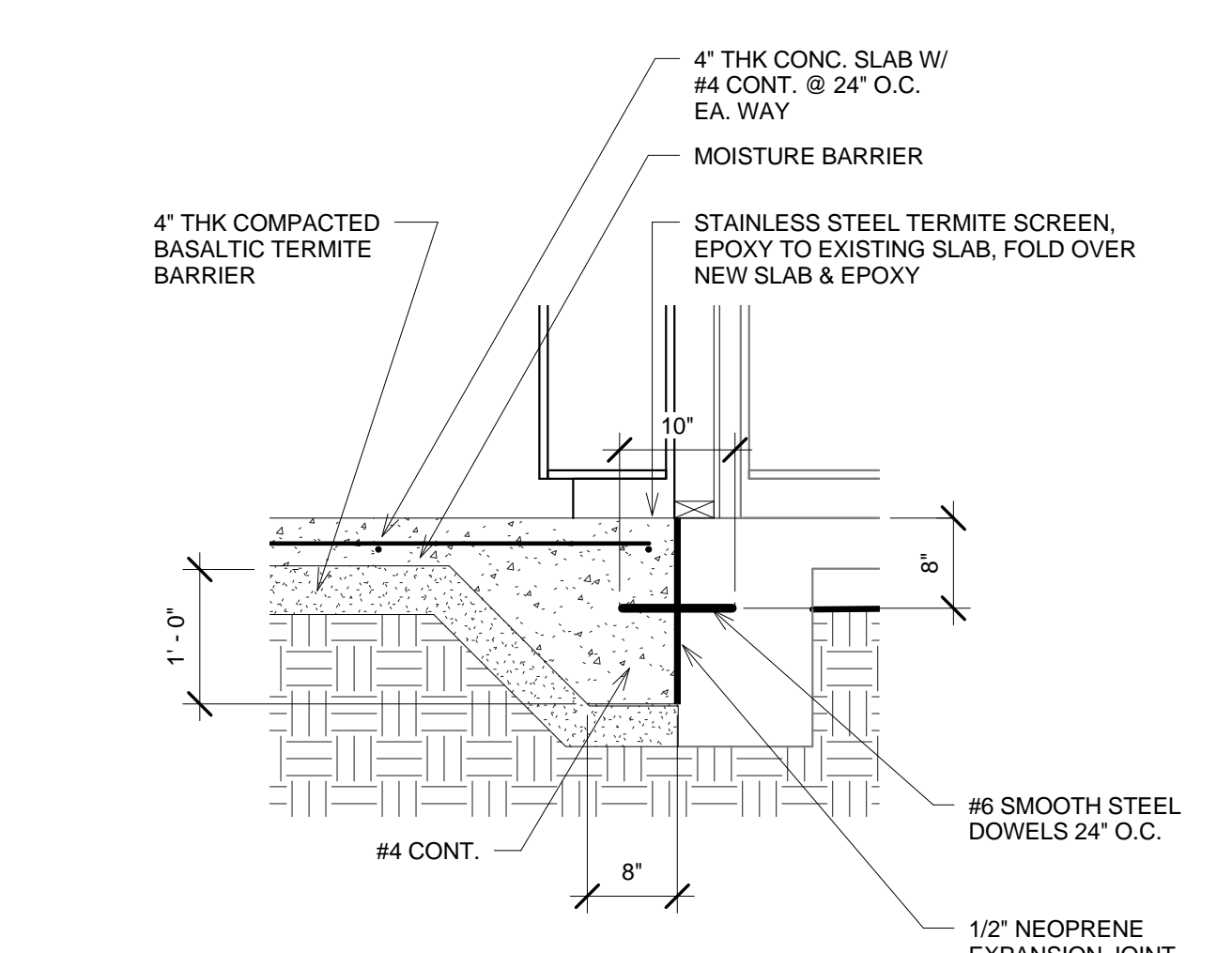
CURING COMPOUNDS; SURFACE MEMBRANE TYPE OF APPROVED COMPOSITION AND CHARACTERISTICS.

FOUNDATION

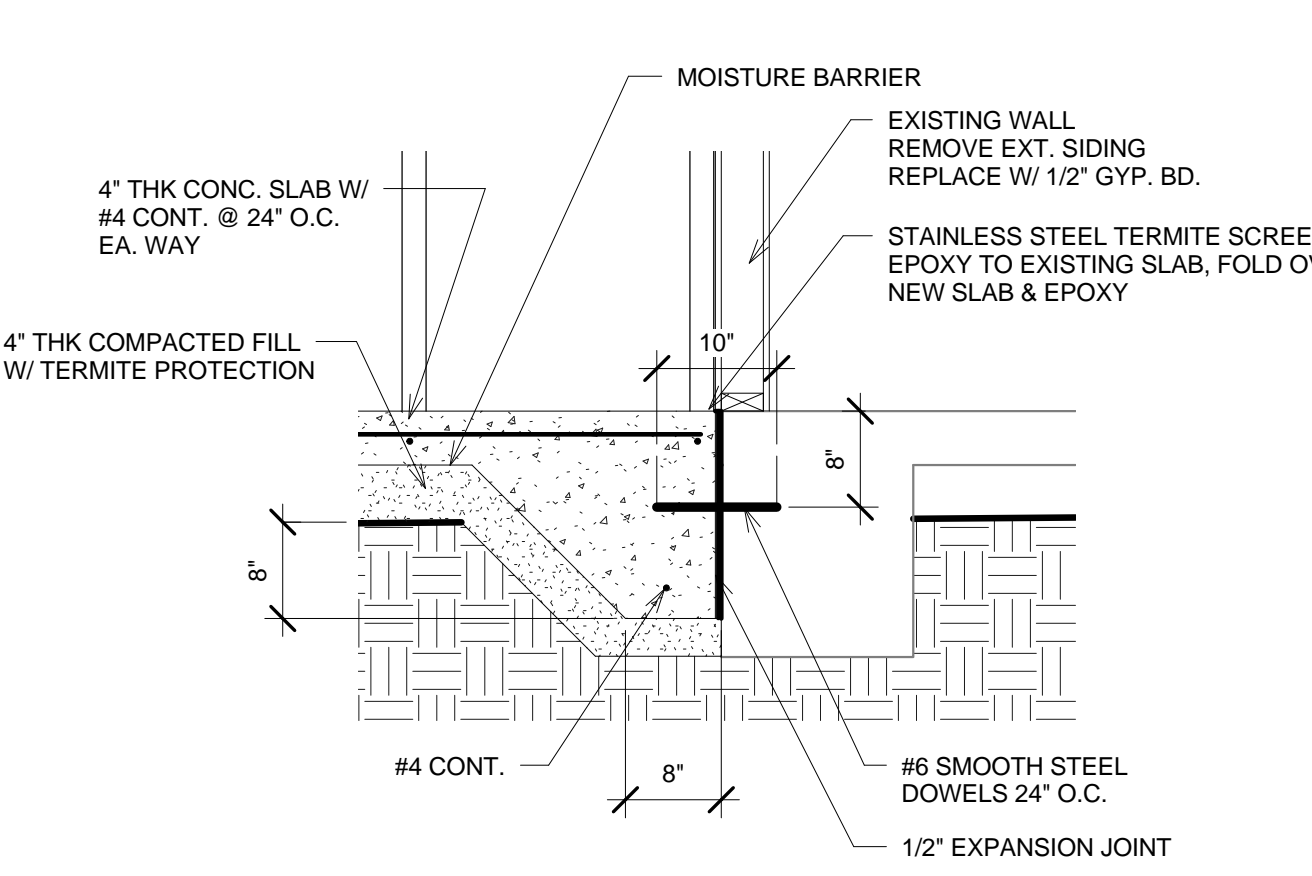
1. ALL CONCRETE FOOTINGS SHALL BEAR DIRECTLY ON COMPACTED OR UNDISTURBED SOIL.
2. ALL FOUNDATION EXCAVATIONS SHALL BE KEPT CLEAR OF WATER AT ALL TIMES. THE BOTTOM OF THE FOOTINGS EXCAVATION SHALL BE NEAT AND FREE OF LOOSE SOILS AND DEBRIS.
3. THE FINISH GRADE OUTSIDE THE SLAB SHALL BE SHAPED TO SHED WATER AWAY FROM THE FOUNDATIONS AND TO AVOID PONDING CONDITION NEAR SLAB AREA.
4. IF THE FOOTING IS LOCATED NEXT TO A UTILITY LINE, IT SHALL EXTEND TO THE BOTTOM OF THE UTILITY TRENCH TO REDUCE FOOTING SETTLEMENT DUE TO SETTLEMENT OF TRENCH BACKFILL.
5. FILLS AND BACKFILLS SHALL BE CLEAN GRANULAR FILL PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED TO A MINIMUM OF 95% OF ITS MAXIMUM DRY DENSITY ESTABLISHED BY ASTM D-1557-78. THE ON SITE CLAY SOIL OR DEBRIS SHALL NOT BE USED FOR FILL MATERIAL BELOW STRUCTURES.
6. THE FILL AREA SHALL BE CLEARED OF VEGETATION AND DEBRIS PRIOR TO FILLING.
7. ALL PLUMBING, ELECTRICAL AND MECHANICAL PIPES AND CONDUIT SHALL BE A MINIMUM OF 4" BELOW ALL FOOTINGS, SLABS AND RETAINING WALLS. NO PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE OR MASONRY.
8. ALL LANAI SLABS SHALL BE 3-1/2" BELOW FINISH FLOOR ELEVATION OF RESIDENCE AND SLOPE 1/8" PER FOOT AWAY FROM HOUSE.



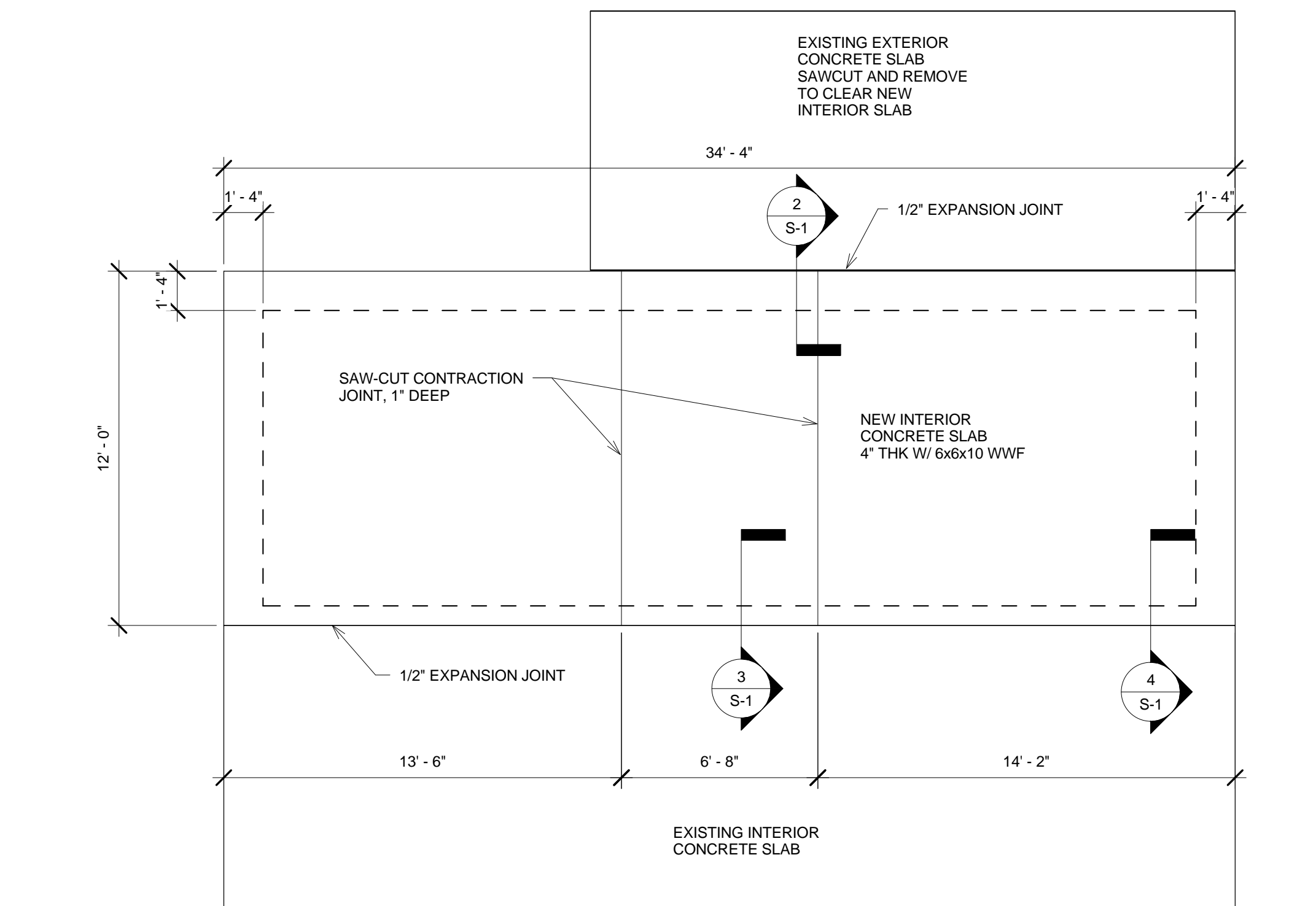
2 FOOTING DETAIL 1
3/4" = 1'-0"



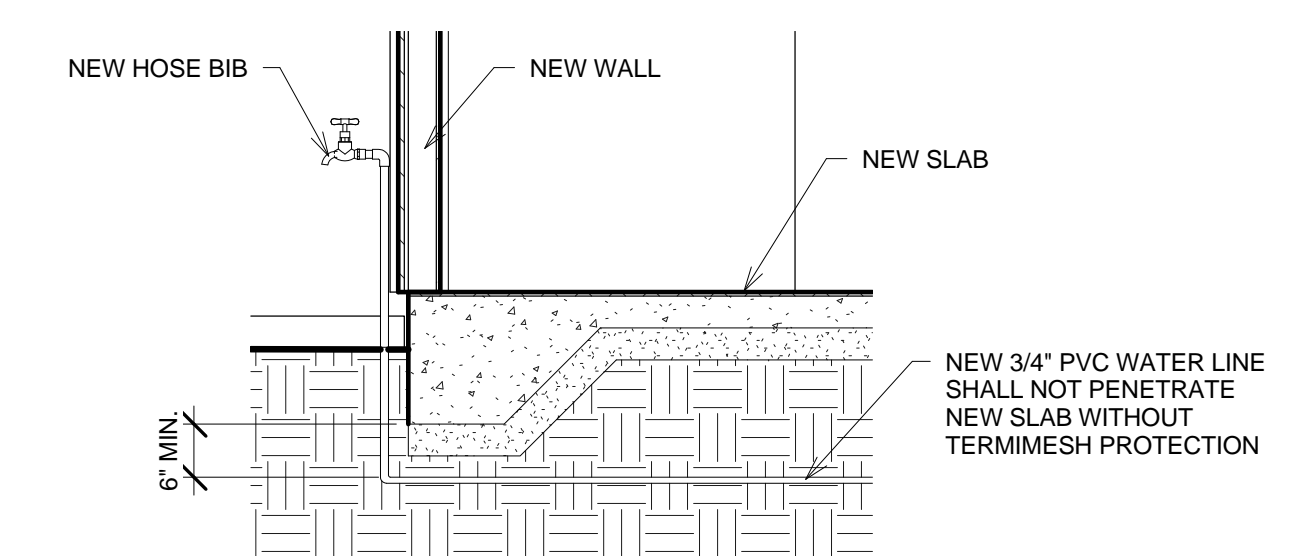
3 FOOTING DETAIL 2
3/4" = 1'-0"



4 FOOTING DETAIL 3
3/4" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"



5 WATER LINE DETAIL
1/2" = 1'-0"

05/26/09	DATE
1	REV.
RELEASE TO BUILDING DEPARTMENT	DESCRIPTION

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LICENSED PROFESSIONAL ARCHITECT
AR-9902
HAWAII, USA
EXPIRES APRIL 30, 2009
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T.M.K. 9-4-121-042
SHEET TITLE: FOUNDATION PLAN

PROJECT NO.: 200903
DATE: 5/26/2009
DRAWN BY: RLA
SCALE: As indicated
SHEET NO.:

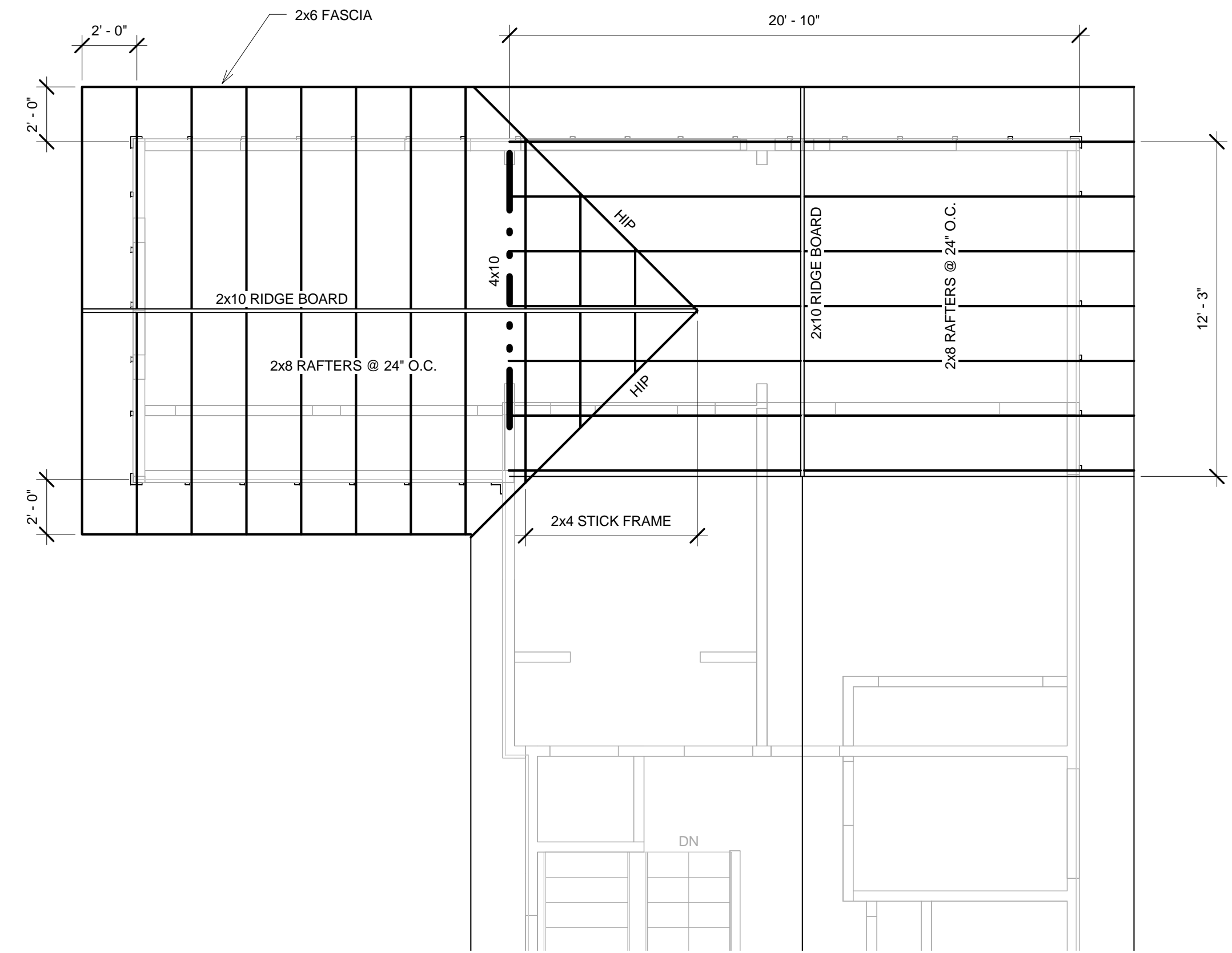
S-1

STRUCTURAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT NO LESS THAN TWO WORKING DAYS PRIOR TO THE NEED FOR FIELD OBSERVATION VISITS SUCH AS BEFORE CONCRETE POURS OR SHEATHING OF WALLS ETC.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY CONDITION WHICH MIGHT ENDANGER THE STRUCTURAL STABILITY OR CAUSE VISIBLE DISTRESS IN THE STRUCTURE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE BRACING AND SHORING FOR STRUCTURAL MEMBERS DURING CONSTRUCTION
4. REFER TO FRAMING PLANS FOR JOIST SIZE AND/OR RAFTER SIZE AND SPACING.
5. PROVIDE WOOD OR METAL CROSSBRIDGING/BLOCKING AT MIDSPAN OF ALL JOIST SPANS 8'-0" OR GREATER.
6. PROVIDE 3/4" T&G PLYWOOD SUBFLOOR (GLUED AND NAILED WITH 6d @ 8" O.C.) OVER ALL FLOOR JOISTS.
7. ALL EXPOSED FRAMING LUMBER SHALL BE SELECTED FOR APPEARANCE, WITH ALL MILL AND SHIPPING DEFECTS, INCLUDING GRADE STAMPS; REMOVED OR REPAIRED.
8. PROVIDE SOLID BLOCKING TO GIRDERS, AND PIERS
9. PROVIDE 2x SOLID BLOCKING AT 4'-0" O.C. FOR WALLS EXCEEDING 9'-0" IN HEIGHT FROM LOADS ABOVE.
10. PROVIDE LAMINATED DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
11. HOLES CUT IN STUDS FOR PIPE AND CONDUIT SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER. NO CUTS SHALL BE MADE IN JOISTS OR BEAMS WITHOUT APPROVAL OF ARCHITECT.
12. CONTRACTOR SHALL INSTALL ALL PREFABRICATED LAMINATED VENEER LUMBER PRODUCTS SPECIFIED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.

WOOD FRAMING LUMBER

1. ALL LUMBER SHALL CONFORM TO A.I.T.C. CONSTRUCTION MANUAL (1974 ED.)
2. ALL FRAMING LUMBER (JOISTS, STUDS, BEAMS, RAFTERS AND POSTS) SHALL BE SURFACE DRY DOUG. FIR-LARCH, AND SHALL CONTAIN 19% OR LESS MOISTER.
3. **STUDS, PLATES, AND MISCELLANEOUS LUMBER:**
DOUG. FIR-LARCH:.....NO. 2 OR BETTER
.....Fb=1450 PSI
.....E=1.7 PSI
4. **JOISTS AND RAFTERS:**
DOUG. FIR-LARCH:.....NO. 2 OR BETTER
.....Fb=1450 PSI
.....E=1.7 PSI
5. **BEAMS, POSTS AND STRINGERS:**
DOUG. FIR-LARCH:.....NO. 2 OR BETTER
.....Fb=1450 PSI
.....E=1.7 PSI
6. **GLUED-LAMINATED BEAMS:**
ALL GLUED LAMINATED BEAMS SHALL MEET ANSI/AITC A190.1 QUALITY STANDARDS AND THE FOLLOWING CRITERIA:
DESIGN VALUES:.....Fb=2,400 PSI
.....E=2.0 PSI
.....Fv=190 PSI
CONFIGURATION: 2400 FV-8 FOR CONTINUOUS SPANS
SPECIES:
MACHINE STRESS RATED (MSR) DOUG. FIR-16% MOISTURE MAXIMUM.
APPEARANCE GRADE:
AITC ARCHITECTURAL: EXPOSED BEAM
AITC INDUSTRIAL: CONCEALED BEAM
SIZES: AS CALLED OUT IN DRAWINGS.
SURFACE: SMOOTH



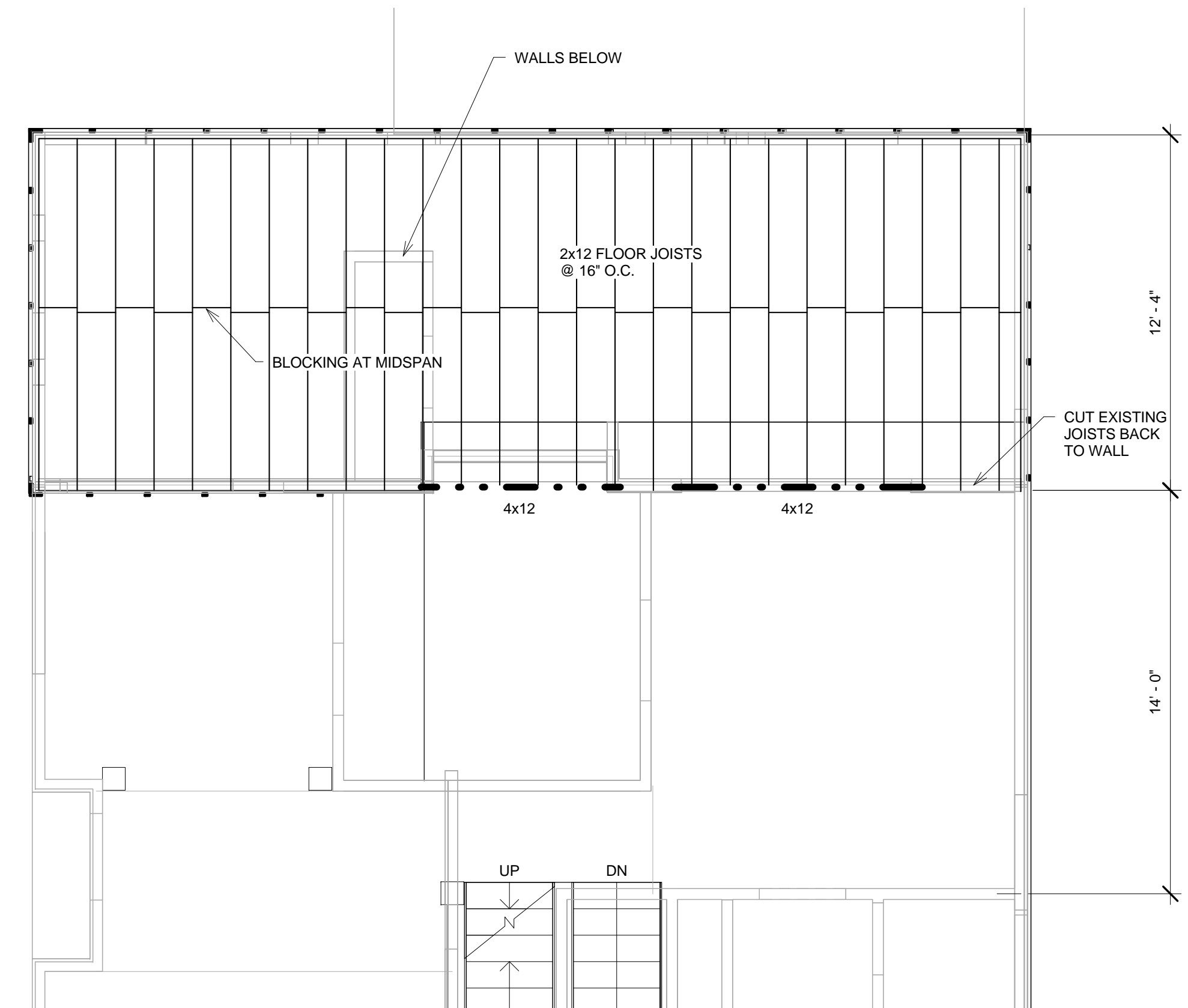
2 ROOF FRAMING PLAN
1/4" = 1'-0"

FASTENERS:

1. HOLES FOR BOLTS SHALL BE DRILLED 1/32" TO 1/16" LARGER THAN BOLT DIAMETER.
2. ALL BOLTS AND NUTS AT LUMBER SURFACES SHALL BE FITTED WITH STEEL WASHERS.
3. INSTALL SIMPSON STRONG-TIE METAL FRAMING CONNECTORS AT ALL FLUSH CONNECTIONS AS REQUIRED OR WHERE SPECIFICALLY SHOWN IN THE DRAWINGS. USE SIMPSON PC OR AC SERIES CONNECTORS AT ALL COLUMN TO BEAM CONNECTIONS. SIZES TO ACCOMODATE FRAMING MEMBER INDICATED.
4. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL STEEL CONNECTORS CALLED OUT IN THE DRAWINGS ARE THE APPROPRIATE SIZE AND CONFIGURATIONS FOR THE STRUCTURAL MEMBERS USED. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING.
5. ALL NAILS SHALL BE HOT DIPPED GALVANIZED COMMON WIRE NAILS UNLESS SHOWN OTHERWISE. NAILS SHALL NOT BE DRIVEN CLOSER TOGETHER THAN 1/2 OF THEIR LENGTH OR CLOSER TO THE EDGE OF THE MEMBER THAN 1/4 OF THEIR LENGTH AND SHALL BE PREDRILLED WHERE WOOD TENDS TO SPLIT. THE PENETRATION OF NAILS INTO THE PIECE RECEIVING THE POINT SHALL NOT BE LESS THAN 1/2 THE NAIL LENGTH.
**NOTE: USE STAINLESS STEEL NAILS MADE FROM AISI GRADE 304 NICKLE/CHROMIUM ALLOY AT THE FOLLOWING EXTERIOR AREAS: WOOD SIDING AND TRIMS, STAIRS AND RAILINGS, ROOF FLASHING, GRAVEL STOPS, AND OTHER AREAS EXPOSED TO WEATHER, HIGH MOISTURE OR OTHER CAUSTIC CONDITIONS.
6. **NAILING SCHEDULE:**
BLOCKING TO JOIST, TOE NAIL EACH END2-8d
TOP PLATE TO STUD, END NAIL2-16d
DOUBLE STUDS, FACE NAIL16d @ 24" O.C.
DOUBLE TOP PLATES, FACE NAIL16d @ 24" O.C.
TOP PLATES, LAPS, AND INTERSECTIONS, FACE NAIL2-16d
CONTINUOUS HEADER, TWO PIECES
.....16d @ 16" O.C. ALONG EACH EDGE
CONTINUOUS HEADER TO STUD, TOE NAIL4-8d
BUILT UP CORNER STUDS16d @ 24" O.C.
ROOF PLYWOOD SHEATHING (NAILED TO FRAMING)
AT EDGES6d @ 8" O.C.
AT INTERMEDIATE SUPPORTS6d @ 12" O.C.
FLOOR PLYWOOD SHEATHING (GLUED AND NAILED TO FRAMING)
AT EDGES8d @ 6" O.C.
AT INTERMEDIATE SUPPORTS8d @ 8" O.C.

HEADER SCHEDULE

SPAN	MINIMUM SIZE
UP TO 2'-6"	4x6
2'-7" - 6'-0"	4x8
6'-1" - 8'-0"	4x10
GREATER THAN 8'-0"	SEE DRAWINGS



1 FRAMING PLAN SECOND LEVEL
1/4" = 1'-0"

05/26/09	DATE
1	RELEASE TO BUILDING DEPARTMENT
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T.M.K. 9-4-121-042
SHEET TITLE: FRAMING PLANS

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